

- ### STANDARD ACCESSIBILITY REQUIREMENTS
- PARKING:**
 - (A) ACCESSIBLE PARKING SPACES SHALL BE A MIN. 96" WIDE OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS). ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE SPACE.
 - (B) EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST HAVE AN ADDITIONAL SIGN "VAN-ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED 60" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT.
 - (C) ALL ACCESSIBLES SERVING H.C. PARKING SPACES SHALL BE 80" WIDE MINIMUM.
 - CURB RAMP:**
 - (D) RAMP EXCEEDING 6" IN RISE (EXCLUDING CURB RAMP) SHALL HAVE HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38", AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMP.
 - (E) IF REQUIRED BY LOCAL OR STATE JURISDICTION, RAMP SHALL CONTAIN A TRUNCATED DOME SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE AND MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES - (OR PAINT STRIPE)
 - (F) BOTTOM LANDINGS FOR RAMP SERVING REQUIRED EXITS SHALL BE 5'-0" LONG X 5'-0" WIDE MINIMUM.
 - (G) RAMP SHALL NOT EXCEED A 1:12 SLOPE
 - SIDEWALKS AND ACCESSIBLE ROUTES:**
 - (H) SIDEWALKS MUST BE AT LEAST 36" WIDE
 - (I) SIDEWALK CROSS SLOPE SHALL NOT EXCEED 1:50 (2%)
 - (J) LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%)

OWNER INFORMATION

MCDONALD'S USA, LLC
HOUSTON REGION
5510 WOODALL COURT
COLLEGE STATION, TX 77845
(979) 587-0304
CONTACT: CARL AMDOR

SCALE: 1" = 20'

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

- ### SITE PLAN REVIEW NOTES
- ALL SIGNAGE WILL BE PERMITTED SEPARATELY.
 - THE STORAGE AREA NEXT TO THE TRASH ENCLOSURE SHALL BE ROOFED (SEE ARCHITECTURAL PLANS).

- ### NOTICE TO CONTRACTOR
- CONTRACTOR SHALL REFER TO ARCHITECTURAL BUILDING PLANS FOR EXACT LOCATION AND ORIENTATION OF EXTERIOR DOORS.
 - TRASH ENCLOSURE FINISH TO MATCH BUILDING. REFER TO SHEET TE-1 FOR FOUNDATION DESIGN.
 - LOCATION OF I.D. SIGN IS APPROXIMATE. IT IS THE RESPONSIBILITY OF THE SIGN CONTRACTOR TO VERIFY COMPLIANCE WITH SET-BACK, SIZE/HEIGHT AND RELATED ZONING REQUIREMENTS PRIOR TO SETTING.
 - ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.

- ### ENVIRONMENTAL NOTES
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINMENT AND PROPER DISPOSAL OF ALL LIQUID AND SOLID WASTE ASSOCIATED WITH THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE OCCURRENCE OF WINDBLOWN LITTER FROM THE PROJECT SITE.
 - DEMOLITION/CONSTRUCTION WASTE - SITE IS REQUIRED TO PROVIDE CONTAINMENT FOR WASTE PRIOR TO AND DURING DEMOLITION/CONSTRUCTION. SOLID WASTE ROLL OFF BOXES AND/OR METAL DUMPSTERS SHALL BE SUPPLIED BY CITY OR CITY PERMITTED CONTRACTOR(S) ONLY.

PAVEMENT MARKING LEGEND

MARK	MARK DESCRIPTION
20	"DRIVE THRU" WITH "CIRCLE/ARROW" - COLOR: YELLOW
27	"CIRCLE / ARROW" - COLOR: YELLOW
28	6" DRIVE-THRU STRIPING - COLOR: YELLOW
29	DOUBLE DRIVE-THRU "ARROW" MARKING - COLOR: YELLOW
30	4" DIAGONAL PAINTED ISLANDS AT DRIVE-THRU - COLOR: YELLOW
31	6" MERGE POINT - COLOR: YELLOW
32	"THANK YOU" AT END PATH - COLOR: YELLOW
33	ARROW PATH DIRECTION - COLOR: YELLOW *
34	4" PARKING STALL STRIPING - COLOR: YELLOW (TYP) *
35	4" DIAGONAL PAINTED ISLANDS IN PARKING AREA - COLOR: YELLOW *
36	HANDICAP ACCESSIBLE SPACES / SYMBOLS / CROSSWALK - COLOR: (PER STATE/CITY REQUIREMENTS)
37	4" DOUBLE LANE DIVIDER STRIPING - COLOR: YELLOW (TYP)
38	PAINTED "STOP" AND 12" STOP BAR WITH "STOP" SIGN - COLOR: YELLOW *
39	FIRE LANE STRIPING PER CITY OF BRYAN FIRE CODE STANDARDS
40	6" OOSP STRIPING - COLOR: YELLOW
41	6" SINGLE LANE DIVIDER STRIPE - COLOR: WHITE

* IF USING ASPHALT PAVEMENT, COLOR: WHITE

CONSTRUCTION SCHEDULE

MARK	MARK DESCRIPTION
1	CONCRETE VERTICAL CURB @ DRIVE-THRU (RE: C10.2 STANDARD DETAILS)
2	CURB AND GUTTER @ NON DRIVE THRU AREAS (RE: C10.2 STANDARD DETAILS)
3	REINFORCED CONCRETE SIDEWALK (RE: C10.3 STANDARD DETAILS)
4	SLOPED SIDEWALK SECTION (NOT TO EXCEED 5% SLOPE) (RE: C10.3 STANDARD DETAILS)
5	H.C. ACCESS RAMP @ 1:12 MAX. SLOPE (RE: C10.1 STANDARD DETAILS)
6	HANDICAP ACCESSIBLE ROUTE
7	HANDICAP ACCESSIBLE SIGN (BUILDING OR POLE MOUNTED) (RE: C10.1 STANDARD DETAILS)
8	CONCRETE WHEEL STOP (RE: C10.3 STANDARD DETAILS)
9	BOLLARD (RE: C10.1 STANDARD DETAILS)
10	HANDRAIL @ INGRESS/EGRESS DOOR (RE: C10.1 STANDARD DETAILS)
11	LIGHT STANDARD (15' CLEAR FROM ALL OVERHEAD UTILITY LINES)
12	FLAG POLE
13	ROAD SIGN (POLE)
14	MCDONALD'S DIRECTIONAL SIGN
15	OOSP SIGN
16	DOMESTIC WATER METER
17	IRRIGATION WATER METER
18	BACK FLOW PREVENTION DEVICE (RE: C9.0 UTILITY PLAN)
19	EXISTING FIRE HYDRANT
20	2,000 GALLON GREASE INTERCEPTOR (RE: C9.0 UTILITY PLAN)
21	DRAINAGE STRUCTURE (RE: DRAINAGE PLAN)
22	PAD MOUNTED TRANSFORMER (RE: C9.0 UTILITY PLAN)
23	LANDSCAPE FINISH GRADE 1" BELOW TOP OF CURB IN ALL LAWN AREAS AND 2" BELOW TOP OF CURB IN ALL BED AREAS
24	SAMPLE WELL (15" Ø MIN.)
25	GREASE WASTE STORAGE (RE: ARCHITECTURAL PLANS)

SITE INFORMATION

LAND AREA:	60,886 SF (1.3977 AC)
CURRENT ZONING:	PD (PLANNED DEVELOPMENT)
EXISTING USE:	UNDEVELOPED
PROPOSED USE:	DRIVE THRU RESTAURANT
BUILDING AREA (APPROXIMATE):	4,395 SF
BUILDING LOT COVERAGE:	PD (PLANNED DEVELOPMENT)
PARKING REQUIRED:	8 + 1/50 SF OF SEATING AREA
PARKING PROVIDED:	47
HANDICAP PARKING REQUIRED:	2
HANDICAP PARKING PROVIDED:	2
IMPERVIOUS AREA:	42,095 SF
LANDSCAPE PERCENTAGE:	30.66%

BENCHMARK DESCRIPTION

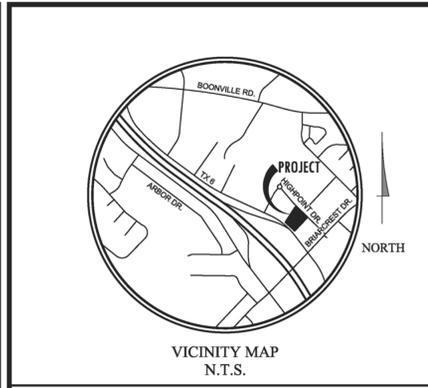
MONUMENT GPS-32 IS A BRASS OR ALUMINUM DISK SET IN CONCRETE LOCATED WEST OF THE BOONVILLE CEMETERY PARKING LOT, APPROXIMATELY 38.5' NORTH OF HIGHWAY 168. ELEVATION = 316.75' (NAVD 1988)

TBM A: BOX CUT ON LIGHT STANDARD BASE ALONG EXCON PROPERTY LINE, AS SHOWN. ELEVATION = 301.83'

TBM B: BOX CUT ON H2-INLET ALONG SOUTH SIDE OF HIGHPOINT DRIVE, AS SHOWN. ELEVATION = 304.47'

**** FEMA NOTE ****

Flood Statement: According to Community Panel No. 48041C0215E, Dated May 16, 2012, of the Federal Emergency Management Agency, National Flood Insurance Program Map, this property is within flood zone "X", areas determined to be outside the 0.2% annual chance floodplain. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of Adams Engineering.



- ### GENERAL NOTES
- Basess, anchor bolts, conduit, and wiring for all signs are by the General Contractor.
 - 3/4" empty conduit to locations shown on the lot perimeter for lot lighting is by the General Contractor. Lighting fixtures, bases, poles, conduit, and wiring are by the General Contractor.
 - Lot lighting concrete footings to conform with the soils report recommendations for this site.
 - Basess for flagpoles are by the General Contractor. Anchor bolts are by the flagpole supplier. General contractor shall coordinate with flag pole supplier prior to construction.
 - The Contractor shall coordinate with all utility companies to determine exact point of service connection at existing utility. Refer to the building electrical and plumbing drawings for utility service entrance locations, sizes, and circuiting.
 - General Contractor must provide exact "as built" information upon completion.
 - All elevations shown are in reference to the benchmark and must be verified by the General Contractor at groundbreak.
 - Curb elevations shall be 6" above finish pavement unless noted otherwise.
 - All landscape areas shall be rough graded to 6" below top of all walks and curbs. Finished grading, landscaping and sprinkler systems are by the Owner / Operator.
 - It is strongly recommended that no contractual agreements of any kind be signed prior to receiving and thoroughly reviewing all approvals from all of the regulatory authorities having jurisdiction over this project.
 - Due to the nature of the work, all dimensions shown shall be considered approximate. Contractor shall field verify all dimensions prior to beginning construction. Shop drawings shall be submitted to the Architect and/or Engineer for approval prior to fabrication or installation of any item. Failure to adhere to this procedure shall place full responsibility for any errors directly upon the Contractor.
 - Contractor shall contact appropriate jurisdictional agencies prior to construction to confirm if independent testing or inspections will be required prior to their acceptance of work. Contractor shall make necessary arrangements to insure proper testing & inspections are documented such that work will be accepted at project completion.
 - Sidewalks around building shall have same subgrade preparation as building foundation.
 - All materials and construction within easements and R.O.W. shall conform to all governing authorities' jurisdictional standard construction details and specifications.
 - Topographic information taken from a Topographic Survey performed by TEXAS ENGINEERING AND MAPPING. The Contractor shall notify the Engineer immediately, in writing, of any discrepancies or omissions to the topographic information. The Contractor(s) shall be responsible for confirming the location (horizontal/vertical) of any buried cables, conduits, pipes, and structures (storm sewer, sanitary sewer, water, gas, television, telephone, etc.) which impact the construction site. The Contractor(s) shall notify the Owner and Engineer if any discrepancies are found between the actual conditions versus the data contained in the construction plans. Any costs incurred as the result of not confirming the actual location (horizontal/vertical) of said cables, conduits, pipes, and structures shall be borne by the Contractor. Additionally, the Contractor(s) shall notify the Owner and Engineer if any errors or discrepancies are found on the construction documents (plans), which negatively impact the project. The Engineer and Owner shall be indemnified of all problems and/or cost which may result from Contractor's failure to notify Engineer and Owner.
 - MCDONALD'S reserves the right to request a compaction and/or a core sample. If tests prove correct, per the soils report, tests will be at the expense of McDonald's, otherwise G.C. will be charged.
 - Contractor shall comply to the fullest extent with the latest standards of OSHA directives or any other agency having jurisdiction for excavation and trenching procedure. Contractor shall use support systems, shoring, bracing, or other means of protection, including but is not limited to, access and egress from all excavation and trenching. Contractor is responsible to comply with performance criteria for OSHA.

PAVING SPECIFICATION

VERIFY W/MCDONALD'S:	ASPHALT: <input type="checkbox"/>	CONCRETE: <input checked="" type="checkbox"/>
CONTRACTOR TO BID:	ASPHALT: <input type="checkbox"/>	CONCRETE: <input checked="" type="checkbox"/>

NOTE: ALL PAVING & SUBGRADE SPECIFICATIONS TO COMPLY WITH GEOTECHNICAL REPORT AS PREPARED BY TERRACON CONSULTANTS, INC. PROJECT NO. A1133036

ASPHALT PAVEMENT RECOMMENDATIONS - ALTERNATE BID

PAVEMENT MATERIALS	LIGHT DUTY	HEAVY DUTY
Asphalt Surface Course	2"	2.5"
Base Material	8"	10"
Treated Subgrade	6"	6"

CONCRETE PAVEMENT RECOMMENDATIONS - BASE BID

PAVEMENT MATERIALS	LIGHT DUTY	HEAVY DUTY
Portland Cement Concrete P/MT	6"	6"
Treated Subgrade	6"	6"

- ### PAVEMENT NOTES
- PAVEMENT AND SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS, INC. DATED NOVEMBER 8, 2013. (PROJECT NUMBER A1133036)
 - SUBGRADE SHOULD BE SCARIFIED AND COMPACTED TO AT LEAST 95 PERCENT OF THE STANDARD PROCTOR (ASTM D 698) MAXIMUM DRY DENSITY FOR A DEPTH OF AT LEAST 6 INCHES BELOW THE SURFACE. SEE SECTION 4.2 OF GEOTECH REPORT.
 - PAVEMENT MAY BE PLACED AFTER THE SUBGRADE HAS BEEN CHEMICALLY TREATED IN ACCORDANCE WITH SECTION 4.5 OF THE REPORT AND PROPERLY COMPACTED, FINE-GRADED AND PROOF ROLLED AS SPECIFIED IN THE SOILS REPORT.
 - ALL WORK SHALL BE IN ACCORDANCE WITH THE TEXAS DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
 - WATER SHOULD NOT BE ALLOWED TO POND BEHIND CURBS AND SATURATE THE BASE MATERIALS. GRANULAR BASE MATERIAL SHOULD EXTEND THROUGH THE SLOPE PROVIDING UNDERGROUND DRAINAGE AN EXIT PATH.
 - REFER TO C10.2 FOR CONCRETE JOINT SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE SOILS REPORT.
 - ALL CONCRETE PAVEMENT SHALL BE 4,000 PSI @ 28 DAYS AND REINFORCED WITH #3 BARS @ 18" O.C.E.W. (LIGHT DUTY) AND #4 BARS @ 18" O.C.E.W. (HEAVY DUTY AND DUMPSER).
 - NOTE: BASE MATERIAL FOR ASPHALT OPTION TO BE TYP01 ITEM 247, TYPE A OR D, GRADE I COMPACTED TO 95% MODIFIED PROCTOR (ASTM 1557).
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.
- THE INFORMATION ABOVE IS BEING PROVIDED FOR REFERENCE ONLY AND SHALL NOT BE RELIED ON AS ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE GEOTECHNICAL REPORT REFERENCES ABOVE FOR ALL PAVEMENT/GEOTECHNICAL REQUIREMENTS.

SURVEY INFORMATION

PREPARED BY: TEXAS ENGINEERING AND MAPPING
12810 CENTURY DRIVE
STAFFORD, TX 77477
(281) 491-2525
DATE: 12/16/13

LEGAL DESCRIPTION: A 1.3977 ACRE TRACT OF LAND, BEING ALL OF LOT 2R-2B, REPLAT OF 2R-2, BLOCK A, HIGHLAND HILLS SUBDIVISION, VOL. 11417, PG. 166, B.C.P.R.

ADDITION

HIGHLAND HILLS SUBDIVISION
STREET ADDRESS
608 N. EARL RUDDER FREEWAY

CITY: BRYAN TX STATE: TX

COUNTY: BRAZOS SURVEY: JOHN AUSTIN ABSTRACT NO. 2

L/C NUMBER: 042-3082 CORPORATE DWG. NAME: SITE PLAN

REV	DATE	DESCRIPTION	BY	ISSUE REF
1	12/20/2013	ISSUE FOR PERMIT	HJM	
2	01/21/2014	PER CITY AND CLIENT COMMENTS	HJM	
3	02/17/2014	PER CLIENT COMMENTS	HJM	

McDONALD'S
608 N. EARL RUDDER FREEWAY
BRYAN, TX

OFFICE ADDRESS: KROC DRIVE - OAK BROOK, ILLINOIS 60521

PLANNING & DESIGN: TERRACON CONSULTANTS, INC. PROJECT NO. A1133036

DATE: 12/16/13

PLAN SCALE: 1" = 20'

STATUS: AS-BUILT

DATE DRAWN: DEC 2013
PLAN CHECKED: 01/21/14

BY: HJM
DATE: 01/21/14
BY: DWL

C4.0