



11 Greenway Plaza, 22nd Floor
Houston, TX 77046
713-965-0608 P
713-961-4571 F
TX Firm: F-3709
PBK.com



GESSNER
ENGINEERING
CORPORATE OFFICE
2501 Ashford Drive
College Station, Texas 77840
www.gessnerengineering.com
FIRM REGISTRATION NUMBER:
TYPE F-7481
TPELF-30133910

801 SOUTH ENNIS STREET
BRYAN, TX

17.89 ACRES
LOT 02 (TR-261), BLOCK 7
ZENO PHILLIPS SURVEY
ZONING: RD-5

OWNER:
BRYAN INDEPENDENT SCHOOL DISTRICT
101 NORTH TEXAS AVENUE
BRYAN, TX 77803
TELEPHONE: (979) 209-7062
CONTACT: JEFF WINDSOR
EMAIL: JEFF.WINDSOR@BRYANISD.ORG

ARCHITECT:
PBK
11 GREENWAY PLAZA #2210
HOUSTON, TX 77046
TELEPHONE: (713) 965-0608
CONTACT: PAUL BUTTERFRAS
EMAIL: PAUL.BUTTERFRAS@PBK.COM

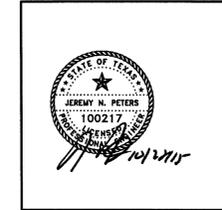
BUILDING DATA SUMMARY			
EXISTING USE:	SCHOOL		
PROPOSED USE:	SCHOOL		
NO. OF STORES:	3		
PROPOSED BUILDING:	TOTAL SF	HEIGHT (FT)	TYPE
	135,098	47.1	IA
BUILDING SPRINKLER:		YES	
FIRM MAP NO.:	48041C0215F revised April 2, 2014 (Not located in 100 year floodplain or foodway)		
PARKING TABULATION (OFF-STREET PARKING ONLY)			
PARKING REQUIREMENT:	1/15 STUDENTS		
TOTAL STUDENTS:	1240		
TOTAL PARKING REQUIRED:	83		
EXISTING PARKING:	137		
PROPOSED PARKING:	84		
STANDARD SPACES:	7		
PROPOSED ADA PARKING:	233		
TOTAL PARKING PROVIDED:	230 SPACES		
UTILITY DEMANDS			
Minimum Water:	0 GPM		
Maximum Water:	290 GPM	(Peak Flow = Avg. Daily Flow * 4)	
Average Water:	72.5 GPM		

LEGEND	
	PROPOSED BUILDING
	EXISTING BUILDING
	PROPOSED PAVEMENT
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	BUILDING SETBACK LINE
	EXISTING PAVEMENT EDGE
	FIRE LINE (RED STRIPE WITH 4" WHITE LETTERS) "FIRELINE NO PARKING TOW-AWAY ZONE"
	EXISTING MAJOR CONTOURS
	EXISTING MINOR CONTOURS
	PROPOSED MAJOR CONTOURS
	PROPOSED MINOR CONTOURS
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	PROPOSED HANDICAP PARKING
	PROPOSED WATER VALVE
	PROPOSED WATER METER
	PROPOSED SANITARY SEWER CLEANOUT
	PROPOSED SS DOUBLE CLEANOUT
	PROPOSED FIRE DEPT. CONNECTION

SITE PLAN NOTES:

- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THESE PLANS AND ON-SITE FIELD CONDITIONS OR SPECIFICATIONS OF OTHER DISCIPLINES.
- THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS, AS WELL AS INSPECTION APPROVALS.
- A COPY OF APPROVED CONSTRUCTION PLANS SHALL BE KEPT ON SITE AT ALL TIMES THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN A SET OF REDLINE DRAWINGS TO RECORD AS-BUILT CONDITIONS.
- REFER TO ARCHITECTURAL PLANS FOR COMPLETE BUILDING DIMENSIONS.
- REFER ARCHITECTURAL PLANS FOR PROPOSED SITE SIGNAGE AS APPLICABLE.
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- THE CONTRACTOR SHALL COORDINATE SITE STORAGE WITH THE OWNER TO NOT OBSTRUCT DRIVES, ACCESS, OR OTHER OPERATIONAL REQUIREMENTS.
- ANY ADJACENT RIGHT-OF-WAY (R.O.W.) OR PROPERTY AFFECTED DURING CONSTRUCTION, SHALL BE RETURNED TO PRE-CONSTRUCTION CONDITION AT THE CONTRACTOR'S EXPENSE.
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- ALL SANITARY SEWER LINES TO BE SDR35 PVC.
- SANITARY SEWER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH TCEQ REQUIREMENTS FOR SEPARATION AND CROSSINGS, AND IN ACCORDANCE WITH THE 2012 INTERNATIONAL PLUMBING CODE.
- ALL METERS TO BE LOCATED WITHIN THE P.U.E.
- ALL STRIPING, MARKING, AND SIGNAGE TO BE DONE PER MUTCD.

**STEPHEN F. AUSTIN
MIDDLE SCHOOL**

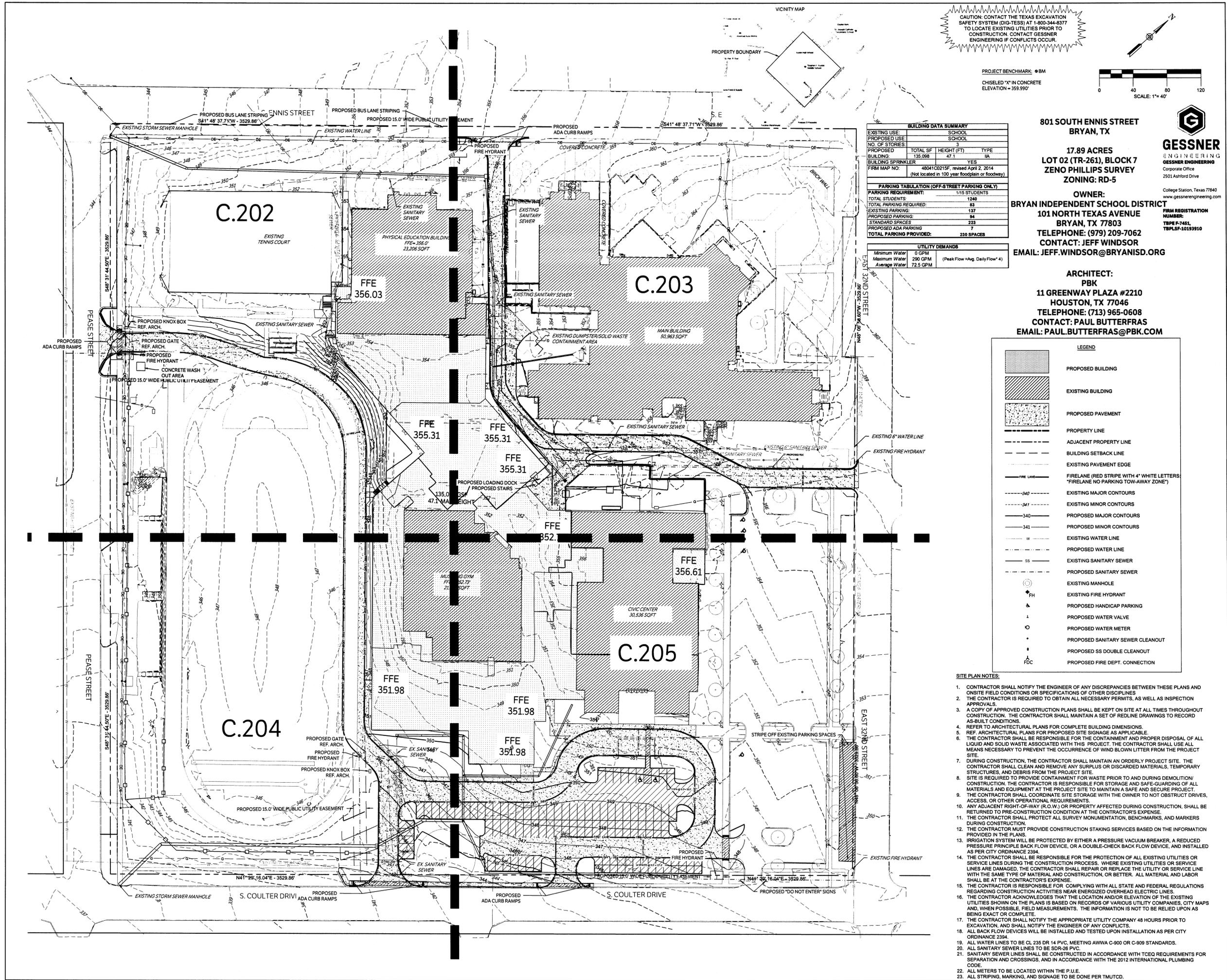


CLIENT:	BRYAN I.S.D.	
PROJECT NUMBER:	15-0009	
DATE:	10-28-2015	
DRAWN BY:	ASP	
CHECKED BY:	JNP	
REVISIONS:		
No.	Description	Date

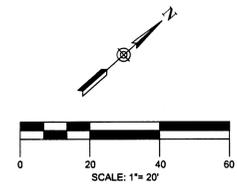
100% - CONSTRUCTION SET

**OVERALL
SITE PLAN**

C.201



CAUTION: CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (DIG-TESS) AT 1-800-344-8377 TO LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTACT GESSNER ENGINEERING IF CONFLICTS OCCUR.



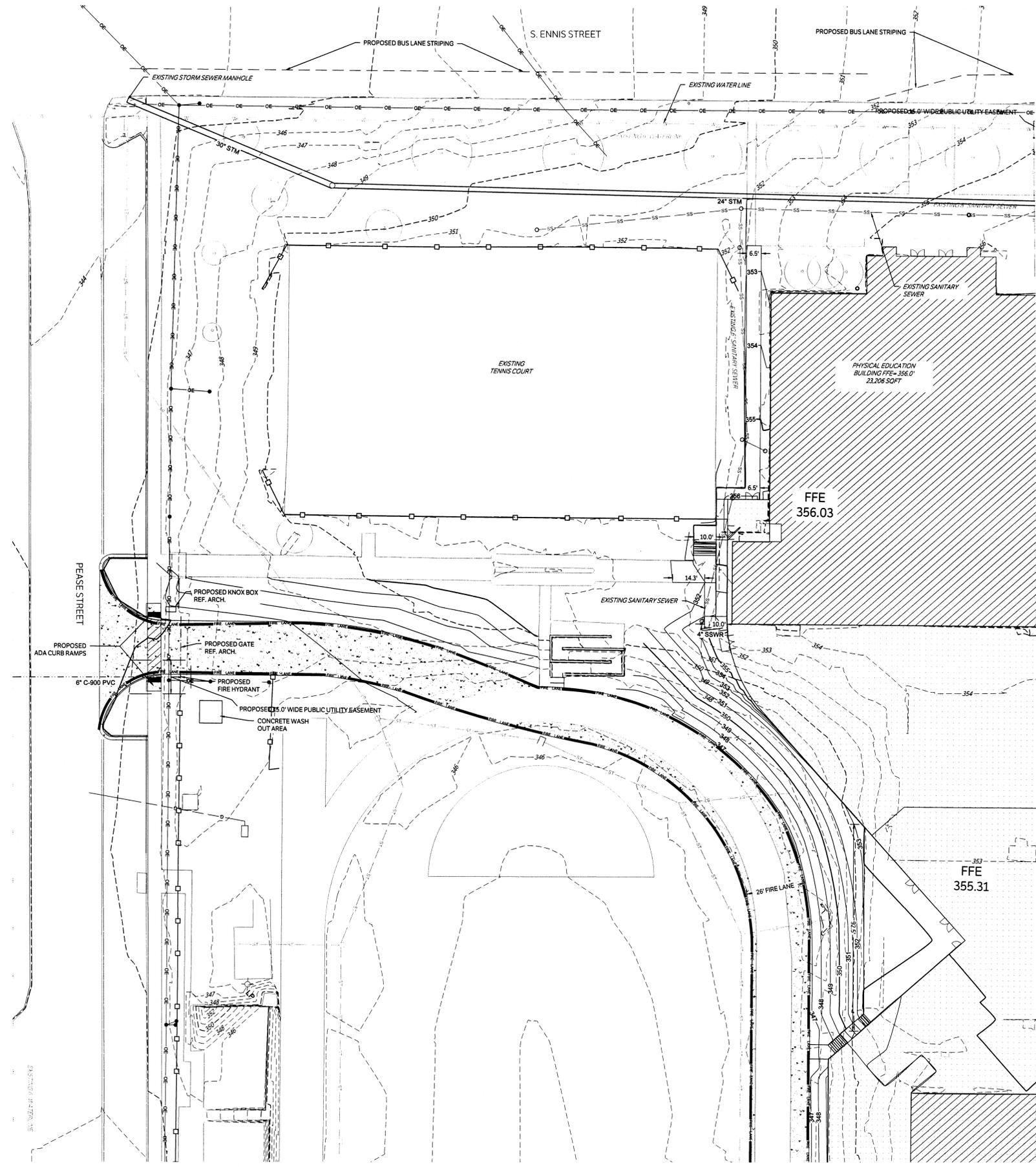
PROJECT BENCHMARK: 6 BM
CHISELED "X" IN CONCRETE
ELEVATION = 359.99'



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CORPORATE OFFICE
2501 Ashford Drive
College Station, Texas 77840
www.gessnerengineering.com

FIRM REGISTRATION NUMBER:
TYPE #7481
TPL#CF-00193810

LEGEND	
[Hatched Box]	PROPOSED BUILDING
[Dotted Box]	EXISTING BUILDING
[Stippled Box]	PROPOSED PAVEMENT
[Solid Line]	PROPERTY LINE
[Dashed Line]	ADJACENT PROPERTY LINE
[Dotted Line]	BUILDING SETBACK LINE
[Dash-dot Line]	EXISTING PAVEMENT EDGE
[Line with Red Stripe]	FIRE LANE (RED STRIPE WITH 4" WHITE LETTERS "FIRELANE NO PARKING TOW-AWAY ZONE")
[Dashed Line]	EXISTING MAJOR CONTOURS
[Dotted Line]	EXISTING MINOR CONTOURS
[Solid Line]	PROPOSED MAJOR CONTOURS
[Dashed Line]	PROPOSED MINOR CONTOURS
[Line with 'w']	EXISTING WATER LINE
[Line with 'ss']	PROPOSED WATER LINE
[Line with 'ss']	EXISTING SANITARY SEWER
[Line with 'ss']	PROPOSED SANITARY SEWER
[Circle with 'M']	EXISTING MANHOLE
[Circle with 'FH']	EXISTING FIRE HYDRANT
[Triangle]	PROPOSED HANDICAP PARKING
[Square]	PROPOSED WATER VALVE
[Circle]	PROPOSED WATER METER
[Circle]	PROPOSED SANITARY SEWER CLEANOUT
[Circle]	PROPOSED SS DOUBLE CLEANOUT
[Triangle]	PROPOSED FIRE DEPT. CONNECTION



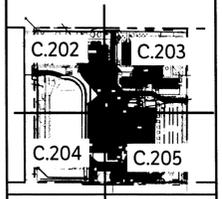
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TX Firm: F-3709
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**STEPHEN F. AUSTIN
MIDDLE SCHOOL**



CLIENT	BRYAN I.S.D.																																		
PROJECT NUMBER	15-0009																																		
DATE	10-28-2015																																		
DRAWN BY	ASP																																		
CHECKED BY	JNP																																		
REVISIONS	<table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>		No.	Description	Date																														
No.	Description	Date																																	

100% - CONSTRUCTION SET

SITE PLAN

C.202



11 Greenway Plaza, 22nd Floor
Houston, TX 77046
713-955-0608 P
713-961-4571 F
TX Firm: F-3709
PBK.com

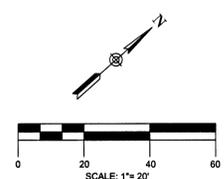


GESSNER
ENGINEERING
GESSNER ENGINEERING
Corporate Office
2501 Ashford Drive

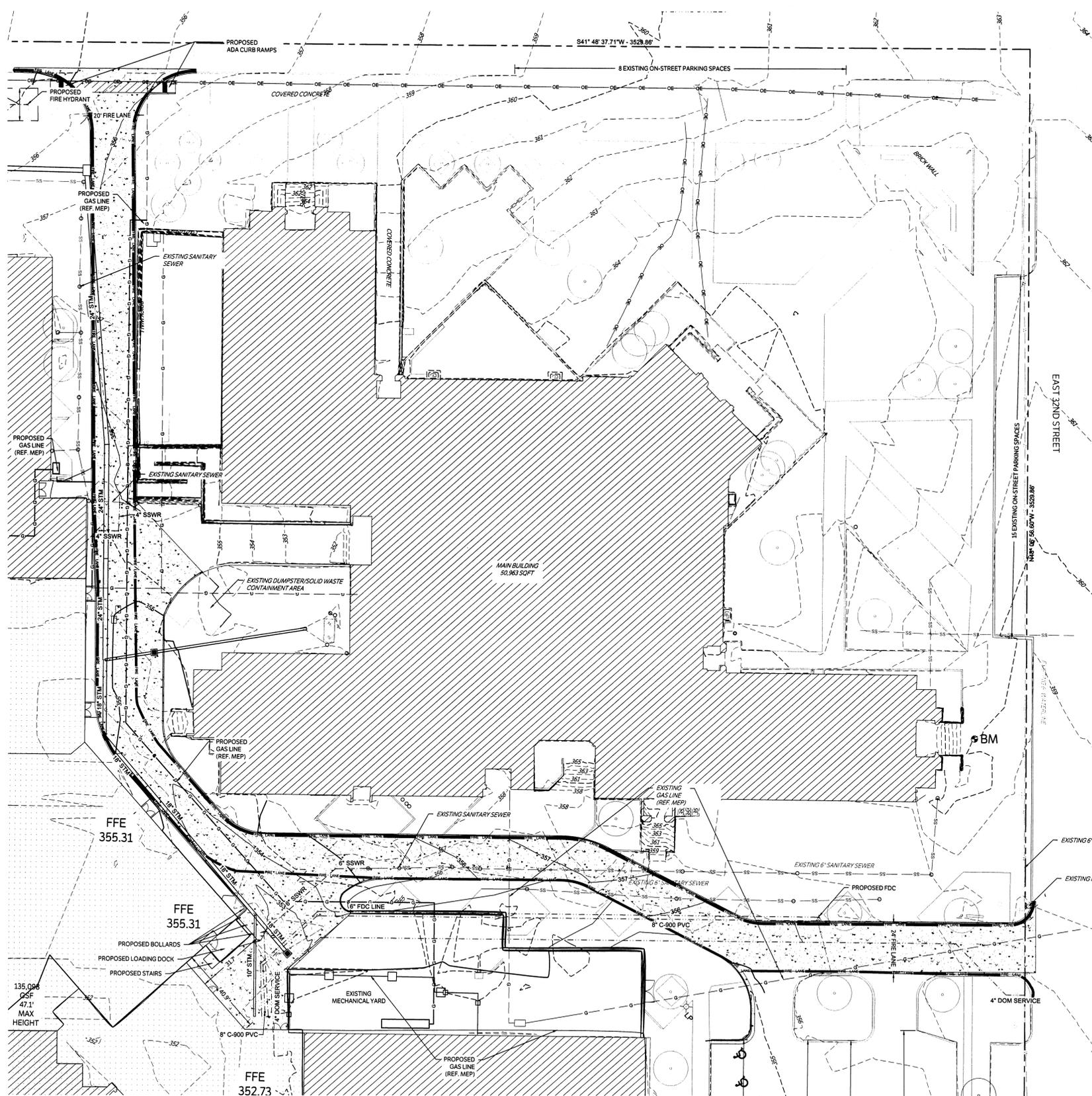
College Station, Texas 77840
www.gessnerengineering.com

FIRM REGISTRATION
NUMBER:
TYPE F-748L
TBPLSP-10193910

CAUTION: CONTACT THE TEXAS EXCAVATION
SAFETY SYSTEM (DIGITEST) AT 1-800-344-8377
TO LOCATE EXISTING UTILITIES PRIOR TO
CONSTRUCTION. CONTACT GESSNER
ENGINEERING IF CONFLICTS OCCUR.



PROJECT BENCHMARK: \odot BM
CHISELED "X" IN CONCRETE
ELEVATION = 359.990'

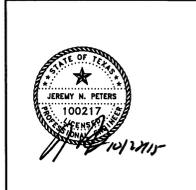
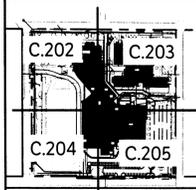


LEGEND	
[Hatched Box]	PROPOSED BUILDING
[Diagonal Lines Box]	EXISTING BUILDING
[Dotted Box]	PROPOSED PAVEMENT
[Solid Line]	PROPERTY LINE
[Dashed Line]	ADJACENT PROPERTY LINE
[Dotted Line]	BUILDING SETBACK LINE
[Dashed Line]	EXISTING PAVEMENT EDGE
[Line with 'F']	FIRELANE (RED STRIPE WITH 4" WHITE LETTERS: "FIRELANE NO PARKING TOW-AWAY ZONE")
[Line with '340']	EXISTING MAJOR CONTOURS
[Line with '341']	EXISTING MINOR CONTOURS
[Line with '340']	PROPOSED MAJOR CONTOURS
[Line with '341']	PROPOSED MINOR CONTOURS
[Line with 'W']	EXISTING WATER LINE
[Line with 'SS']	PROPOSED WATER LINE
[Line with 'SS']	EXISTING SANITARY SEWER
[Line with 'SS']	PROPOSED SANITARY SEWER
[Circle with 'MH']	EXISTING MANHOLE
[Circle with 'FH']	EXISTING FIRE HYDRANT
[Circle with 'P']	PROPOSED HANDICAP PARKING
[Circle with 'V']	PROPOSED WATER VALVE
[Circle with 'M']	PROPOSED WATER METER
[Circle with 'C']	PROPOSED SANITARY SEWER CLEANOUT
[Circle with 'D']	PROPOSED SS DOUBLE CLEANOUT
[Circle with 'FDC']	PROPOSED FIRE DEPT. CONNECTION

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**STEPHEN F. AUSTIN
MIDDLE SCHOOL**



CLIENT	BRYAN I.S.D.	
PROJECT NUMBER	15-0009	
DATE	10-28-2015	
DRAWN BY	ASP	
CHECKED BY	JNP	
REVISIONS		
No.	Description	Date

100% - CONSTRUCTION SET

SITE PLAN

C.203

CAUTION: CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (DIG-TESS) AT 1-800-344-8377 TO LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTACT GESSNER ENGINEERING IF CONFLICTS OCCUR.



PROJECT BENCHMARK: @BM
CHISELED 1/2" IN CONCRETE
ELEVATION = 359.997



GESSNER
ENGINEERING
GESSNER ENGINEERING
Corporate Office
2501 Ashford Drive
College Station, Texas 77840
www.gessnerengineering.com

FIRM REGISTRATION NUMBER:
TYPE F-745L
TBP/LSF-10193910

LEGEND	
[Hatched Box]	PROPOSED BUILDING
[Dotted Box]	EXISTING BUILDING
[Stippled Box]	PROPOSED PAVEMENT
[Solid Line]	PROPERTY LINE
[Dashed Line]	ADJACENT PROPERTY LINE
[Dotted Line]	BUILDING SETBACK LINE
[Dash-dot Line]	EXISTING PAVEMENT EDGE
[Line with Red Stripe]	FIRELANE (RED STRIPE WITH 4" WHITE LETTERS: "FIRELANE NO PARKING TOW-AWAY ZONE")
[Dashed Line]	EXISTING MAJOR CONTOURS
[Dashed Line]	EXISTING MINOR CONTOURS
[Solid Line]	PROPOSED MAJOR CONTOURS
[Solid Line]	PROPOSED MINOR CONTOURS
[Line with 'W']	EXISTING WATER LINE
[Line with 'W']	PROPOSED WATER LINE
[Line with 'SS']	EXISTING SANITARY SEWER
[Line with 'SS']	PROPOSED SANITARY SEWER
[Circle]	EXISTING MANHOLE
[Circle]	EXISTING FIRE HYDRANT
[Triangle]	PROPOSED HANDICAP PARKING
[Square]	PROPOSED WATER VALVE
[Circle]	PROPOSED WATER METER
[Circle]	PROPOSED SANITARY SEWER CLEANOUT
[Circle]	PROPOSED SS DOUBLE CLEANOUT
[Circle]	PROPOSED FIRE DEPT. CONNECTION

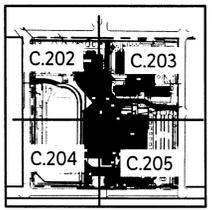
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- IRRIGATION SYSTEM WILL BE PROTECTED BY EITHER A PRESSURE VACUUM BREAKER, A REDUCED PRESSURE PRINCIPLE BACK FLOW DEVICE, OR A DOUBLE-CHECK BACK FLOW DEVICE, AND INSTALLED AS PER CITY ORDINANCE 2394.
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- ALL METERS TO BE LOCATED WITHIN THE P.U.E.
- ALL STRIPING, MARKING, AND SIGNAGE TO BE DONE PER TMUTCD.



11 Greenway Plaza, 22nd Floor
Houston, TX 77046
713-965-0608 P
713-961-4571 F
TX Firm: F-3709
PBK.com

**STEPHEN F. AUSTIN
MIDDLE SCHOOL**

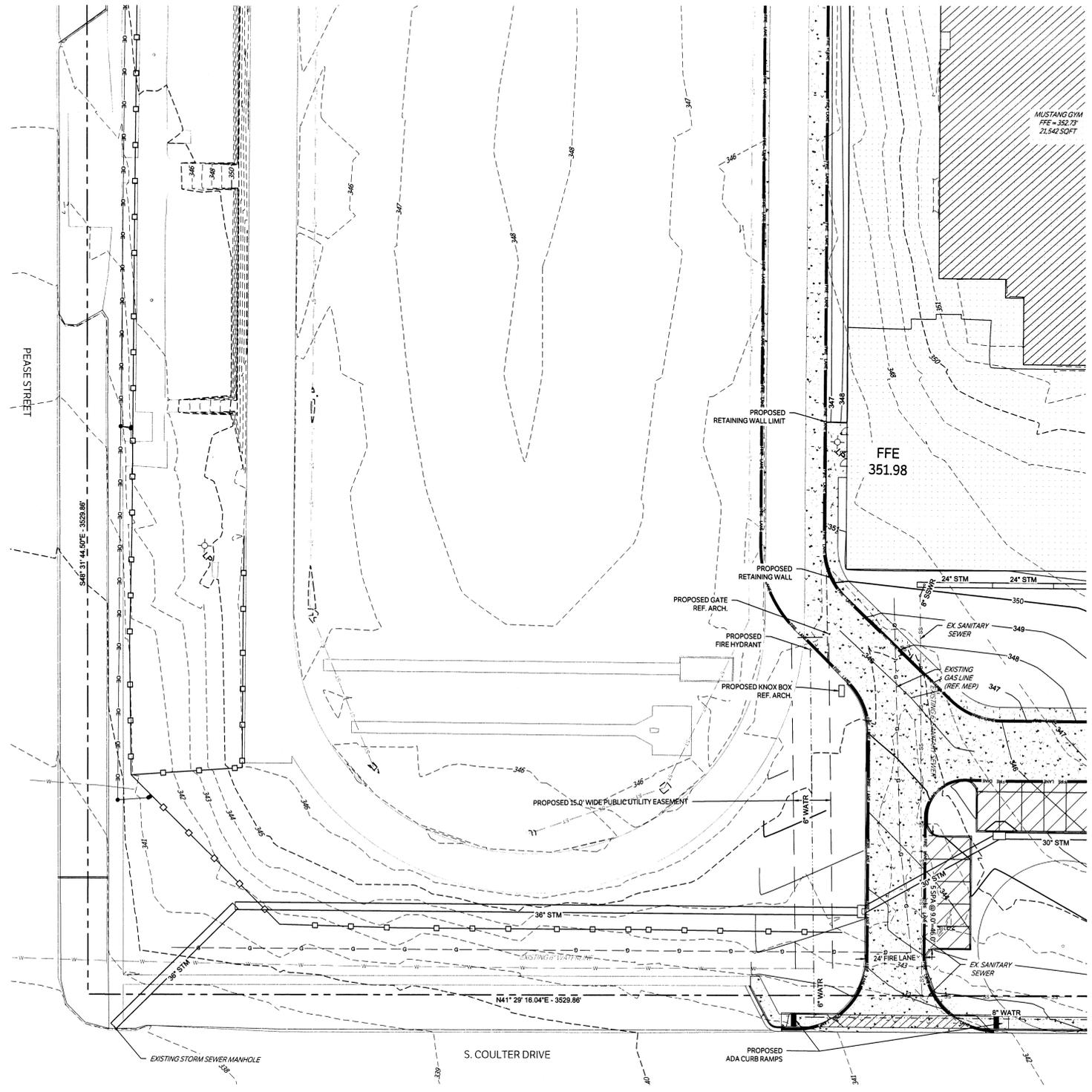


CLIENT	BRYAN I.S.D.	
PROJECT NUMBER	15-0009	
DATE	10-28-2015	
DRAWN BY	ASP	
CHECKED BY	JNP	
REVISIONS	No.	Description

100% - CONSTRUCTION SET

SITE PLAN

C.204

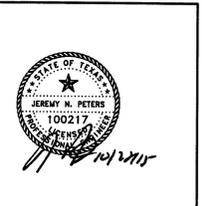
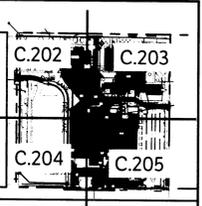




College Station, Texas 77840
www.gessnerengineering.com

FIRM REGISTRATION
NUMBER:
TBPE F-7481,
TBPLSF-10193910

STEPHEN F. AUSTIN MIDDLE SCHOOL



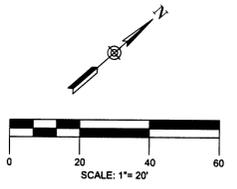
CLIENT	BRYAN I.S.D.	
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100% - CONSTRUCTION SET

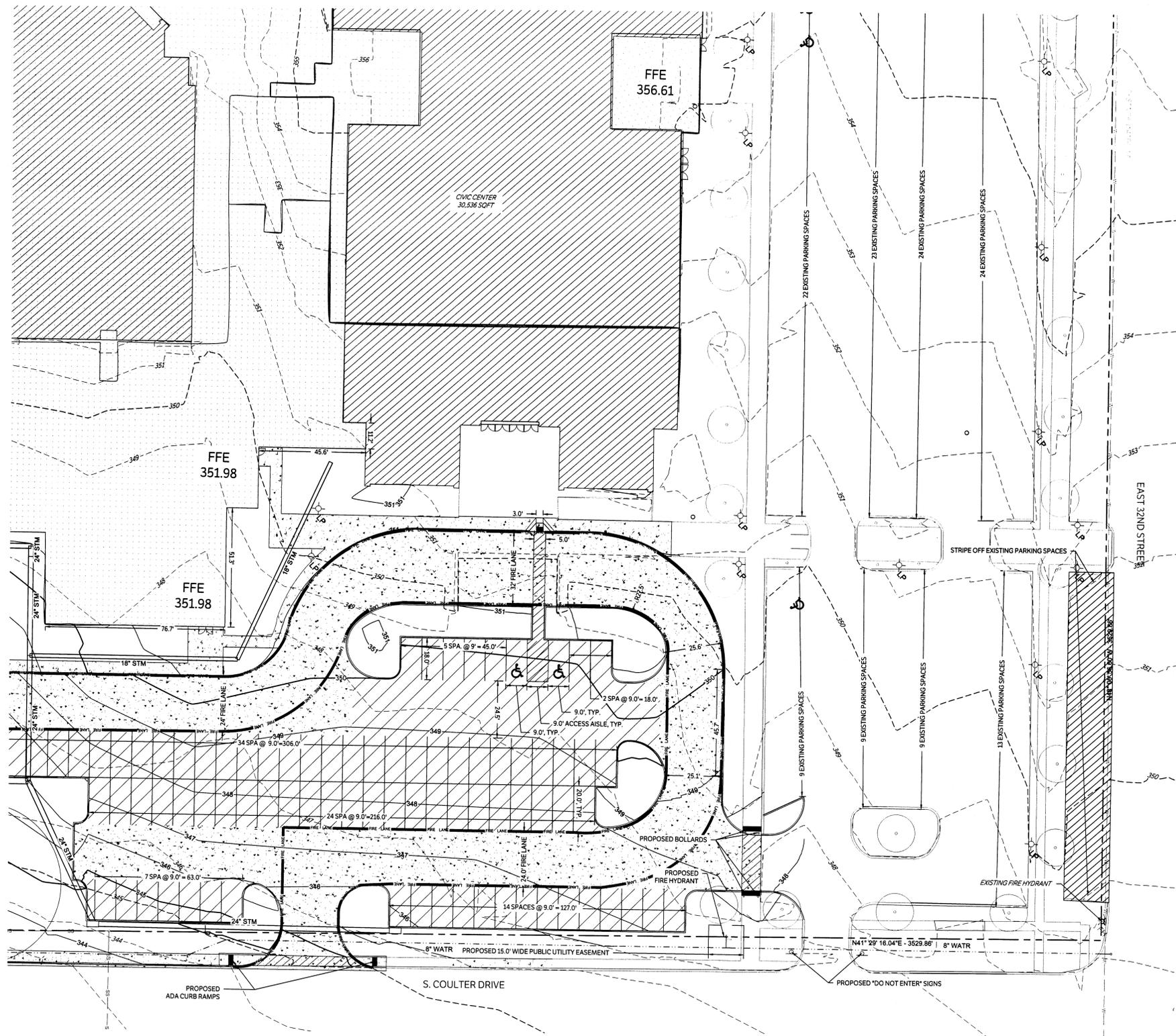
SITE PLAN

C.205

CAUTION: CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM (DIG-TESS) AT 1-800-344-8377 TO LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTACT GESSNER ENGINEERING IF CONFLICTS OCCUR.



PROJECT BENCHMARK: BM
CHISELED "X" IN CONCRETE
ELEVATION = 359.990'



LEGEND	
[Symbol]	PROPOSED BUILDING
[Symbol]	EXISTING BUILDING
[Symbol]	PROPOSED PAVEMENT
[Symbol]	PROPERTY LINE
[Symbol]	ADJACENT PROPERTY LINE
[Symbol]	BUILDING SETBACK LINE
[Symbol]	EXISTING PAVEMENT EDGE
[Symbol]	FIRELANE (RED STRIPE WITH 4" WHITE LETTERS, "FIRELANE NO PARKING TOW-AWAY ZONE")
[Symbol]	EXISTING MAJOR CONTOURS
[Symbol]	EXISTING MINOR CONTOURS
[Symbol]	PROPOSED MAJOR CONTOURS
[Symbol]	PROPOSED MINOR CONTOURS
[Symbol]	EXISTING WATER LINE
[Symbol]	PROPOSED WATER LINE
[Symbol]	EXISTING SANITARY SEWER
[Symbol]	PROPOSED SANITARY SEWER
[Symbol]	EXISTING MANHOLE
[Symbol]	EXISTING FIRE HYDRANT
[Symbol]	PROPOSED HANDICAP PARKING
[Symbol]	PROPOSED WATER VALVE
[Symbol]	PROPOSED WATER METER
[Symbol]	PROPOSED SANITARY SEWER CLEANOUT
[Symbol]	PROPOSED SS DOUBLE CLEANOUT
[Symbol]	PROPOSED FIRE DEPT. CONNECTION

SITE PLAN NOTES:

- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THESE PLANS AND ONSITE FIELD CONDITIONS OR SPECIFICATIONS OF OTHER DISCIPLINES.
- THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS, AS WELL AS INSPECTION APPROVALS.
- A COPY OF APPROVED CONSTRUCTION PLANS SHALL BE KEPT ON SITE AT ALL TIMES THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN A SET OF REDLINE DRAWINGS TO RECORD AS-BUILT CONDITIONS.
- REFER TO ARCHITECTURAL PLANS FOR COMPLETE BUILDING DIMENSIONS.
- REF. ARCHITECTURAL PLANS FOR PROPOSED SITE SIGNAGE AS APPLICABLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINMENT AND PROPER DISPOSAL OF ALL LIQUID AND SOLID WASTE ASSOCIATED WITH THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE OCCURRENCE OF WIND BLOWN LITTER FROM THE PROJECT SITE.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN AN ORDERLY PROJECT SITE. THE CONTRACTOR SHALL CLEAN AND REMOVE ANY SURPLUS OR DISCARDED MATERIALS, TEMPORARY STRUCTURES, AND DEBRIS FROM THE PROJECT SITE.
- SITE IS REQUIRED TO PROVIDE CONTAINMENT FOR WASTE PRIOR TO AND DURING DEMOLITION CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR STORAGE AND SAFE-GUARDING OF ALL MATERIALS AND EQUIPMENT AT THE PROJECT SITE TO MAINTAIN A SAFE AND SECURE PROJECT.
- THE CONTRACTOR SHALL COORDINATE SITE STORAGE WITH THE OWNER TO NOT OBSTRUCT DRIVES, ACCESS, OR OTHER OPERATIONAL REQUIREMENTS.
- ANY ADJACENT RIGHT-OF-WAY (R.O.W.) OR PROPERTY AFFECTED DURING CONSTRUCTION, SHALL BE RETURNED TO PRE-CONSTRUCTION CONDITION AT THE CONTRACTOR'S EXPENSE.
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