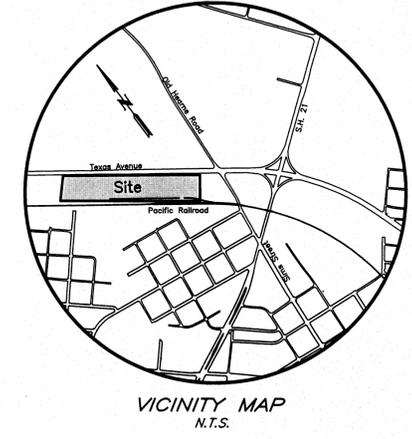


Scale: 1" = 50'



State Highway No. 6
100' R.O.W.

S 53°52'23" E - 1387.19'

N 49°39'05" W - 7895.40' to the
City of Bryan Monument No. 22

Point of Beginning

20' P.U.E.

5.5 Acres
Now or Formerly
Joseph & Julie Marino
Vol. 574, Pg. 92

N 40°43'37" E - 326.30'

Lot 2, Block 1
10.528 Acres

Lot 1, Block 1 ~ 2.593 Acres
Producers Cooperative Association
Vol. 7216, Pg. 188

S 36°23'58" W - 330.08'

N 53°40'37" W - 1411.80'

Southern Pacific Railroad
60' R.O.W.

CERTIFICATE OF OWNERSHIP AND DEDICATION

STATE OF TEXAS
COUNTY OF BRAZOS
We, Producers Cooperative Association owner and developer of the land shown on this plat, being all of the tracts of land as conveyed to me in the Deed Records of Brazos County in Volume 213, Page 319 and Volume 214, Page 317 and whose name is subscribed hereto, hereby dedicate to the use of the public forever, all streets, alleys, parks, water courses, drains, easements, and public places shown hereon for the purposes identified.

Owner

STATE OF TEXAS
COUNTY OF BRAZOS
Before me, the undersigned authority, on this day personally appeared the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose stated. Given under my hand and seal on this ___ day of ___ 20__.

Notary Public, Brazos County, Texas

CERTIFICATION BY THE COUNTY CLERK
(STATE OF TEXAS)
(COUNTY OF BRAZOS)

I, Karen McQueen, County Clerk, in and for said County, do hereby certify that this plat together with its certificates of authentication was filed for record in my office the ___ day of ___ 20__ in the Official Records of Brazos County, Texas in Volume ___ Page ___

County Clerk, Brazos County, Texas

APPROVAL OF THE CITY PLANNER

I, _____, the undersigned, City Planner and/or designated Secretary of the Planning & Zoning Commission of the City of Bryan, hereby certify that this plat is in compliance with the appropriate codes and ordinances of the City of Bryan and was approved on the ___ day of ___ 20__.

City Planner, Bryan, Texas

CERTIFICATION OF THE SURVEYOR

STATE OF TEXAS
COUNTY OF BRAZOS
I, Kevin R. McClure, Registered Professional Land Surveyor No. 5650, in the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property and that property markers and monuments were placed under my supervision on the ground, and that the metes and bounds describing said subdivision will describe a closed geometric form.

Kevin R. McClure, R.P.L.S. No. 5650

APPROVAL OF THE CITY ENGINEER

I, the undersigned, City Engineer of the City of Bryan, hereby certify that this plat is in compliance with the appropriate codes and ordinances of the City of Bryan and was approved on the ___ day of ___ 20__.

City Engineer, Bryan, Texas

- GENERAL NOTES:
- ORIGIN OF BEARING SYSTEM: Bearings and coordinates refer to the Texas Coordinate System, NAD-83, CENTRAL ZONE and are based upon the position of the City of Bryan Monument No. 22 established in August, 1997 and adjusted in October, 2001.
Northing: 10241303.915
Easting: 3539087.647
Elevation: 328.35 (NAVD 88)
 - According to the Flood Insurance Rate Maps for Brazos County, Texas and Incorporated Areas, Map Number 48041C0133 C, effective July 2, 1992, this property is not located in a 100-year flood hazard area.
 - Building setback requirements shall comply with the City of Bryan Code of Ordinances.

FIELD NOTES

Being all that certain tract or parcel of land lying and being situated in the STEPHEN F. AUSTIN LEAGUE, Abstract No. 63 in Bryan, Brazos County, Texas and being all of the called 8.37 acre tract described in the deed from M.J. Tremont and wife, Mary C. Tremont to Producers Cooperative Association recorded in Volume 213, Page 319 of the Brazos County Deed Records (B.C.D.R.) and all of the called 2.19 acre tract described in the deed from New Orleans Railroad Company to Producers Cooperative Association recorded in Volume 214, Page 317 (B.C.D.R.) and being more particularly described by metes and bounds as follows:

BEGINNING: at a found 1/2-inch iron rod marking the east corner of the called 2.19 acre tract, the north corner of Lot 1, Block 1 PRODUCERS COOPERATIVE ASSOCIATION Subdivision as recorded in Volume 7216, Page 188 of the Official Records of Brazos County, Texas (O.R.B.C.) said iron rod also being in the southwest right-of-way line of State Highway No. 6 as presently monumented;

THENCE: S 36° 23' 58" W along the common line of the called 2.19 acre tract and said Lot 1, Block 1 for a distance of 330.08 feet to a found 1/2-inch iron marking the south corner of this tract and the west corner of said Lot 1, said iron rod also being in the northeast right-of-way line of Union Pacific Railroad;

THENCE: N 53° 40' 37" W along the said northeast right-of-way line of Union Pacific Railroad for a distance of 1411.80 feet to a 1/2-inch iron rod set for the west corner of this tract;

THENCE: N 40° 43' 37" E along the northwest line of the called 8.37 acre tract for a distance of 326.30 feet to a found 3/8-inch iron rod marking the north corner of this tract, the east corner of the called 5.38 acre Marino tract recorded in Volume 3374, Page 195 (O.R.B.C.), said iron rod also being in the aforementioned southwest right-of-way line of State Highway No. 6 as presently monumented;

THENCE: S 53° 52' 23" E for a distance of 1387.19 feet to the POINT OF BEGINNING and containing 10.528 acres of land, more or less.

RECEIVED

DEC 30 2009

Development & Engineering Services

Legend

- ⊙ - 3/8" Iron Rod Found
- ⊙ - 1/2" Iron Rod Found
- ⊙ - 1/2" Iron Rod Set
- P.U.E. - Public Utility Easement
- B.S.L. - Building Setback Line

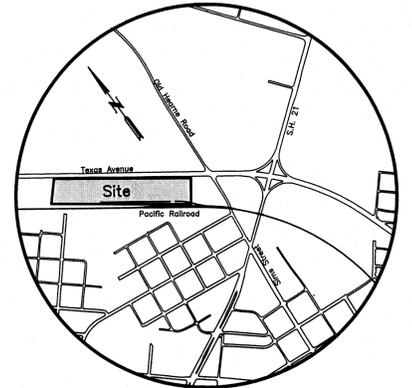
FINAL PLAT

LOT 2, BLOCK 1
PRODUCERS COOPERATIVE ASSOCIATION
10.528 ACRES
STEPHEN F. AUSTIN LEAGUE, A-63
BRYAN, BRAZOS COUNTY, TEXAS
DECEMBER, 2009
SCALE: 1" = 50'

Owner/Developer: Producers Cooperative Association
P.O. Box 1112
Bryan, Texas 77803
(979)-778-6000

Surveyor: McClure & Browne Engineering/Surveying, Inc.
1008 Woodcreek Dr., Suite 103
College Station, Texas 77845
(979) 693-3838

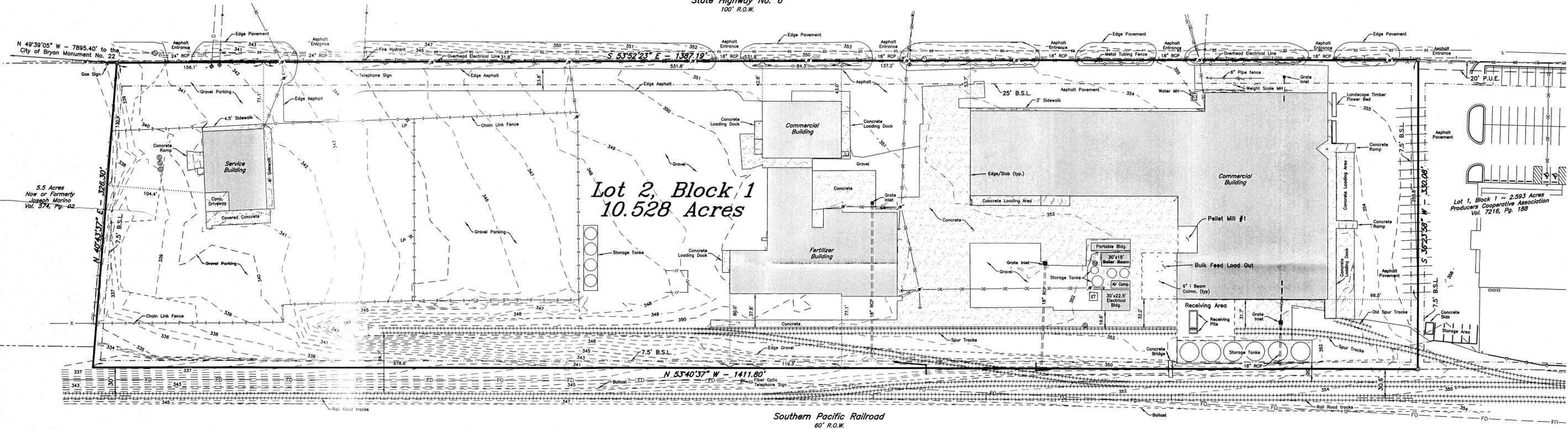
MB



VICINITY MAP
N.T.S.

Scale: 1" = 50'

State Highway No. 6
100' R.O.W.



Lot 2, Block 1
10.528 Acres

Southern Pacific Railroad
60' R.O.W.

RECEIVED

DEC 30 2009

Development & Engineering Services

NOT FOR RECORD

PRELIMINARY PLAN

LOT 2, BLOCK 1
PRODUCERS COOPERATIVE
ASSOCIATION
10.528 ACRES

STEPHEN F. AUSTIN LEAGUE, A-63
BRYAN, BRAZOS COUNTY, TEXAS

DECEMBER, 2009
SCALE: 1" = 50'

Owner/Developer:
Producers Cooperative Association
P.O. Box 1112
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Northing: 10241303.915
Easting: 3539097.647
Elevation: 328.35 (NAVD 88)
 - According to the Flood Insurance Rate Maps for Brazos County, Texas and Incorporated Areas, Map Number 48041C0133 C, effective July 2, 1992, this property is not located in a 100-year flood hazard area.
 - Building setback requirements shall comply with the City of Bryan Code of Ordinances.
 - This property is currently zoned industrial.

- Legend
- Chain Link Fence
 - Pipe Fence
 - Overhead Electrical Line
 - Underground Telephone Line
 - 6" Sewer Line
 - Wire Fence
 - Wood Fence

- ⊙ 1/2" Iron Rod Found
- ⊙ 3/8" Iron Rod Found
- ⊙ Fire Hydrant
- ⊙ Gas Meter
- ⊙ Guy Anchor
- ⊙ Light Pole
- ⊙ Power Pole
- ⊙ Sewer Manhole
- ⊙ Grease Trap
- ⊙ Telephone Pedestal
- ⊙ Water Meter
- ⊙ Water Valve