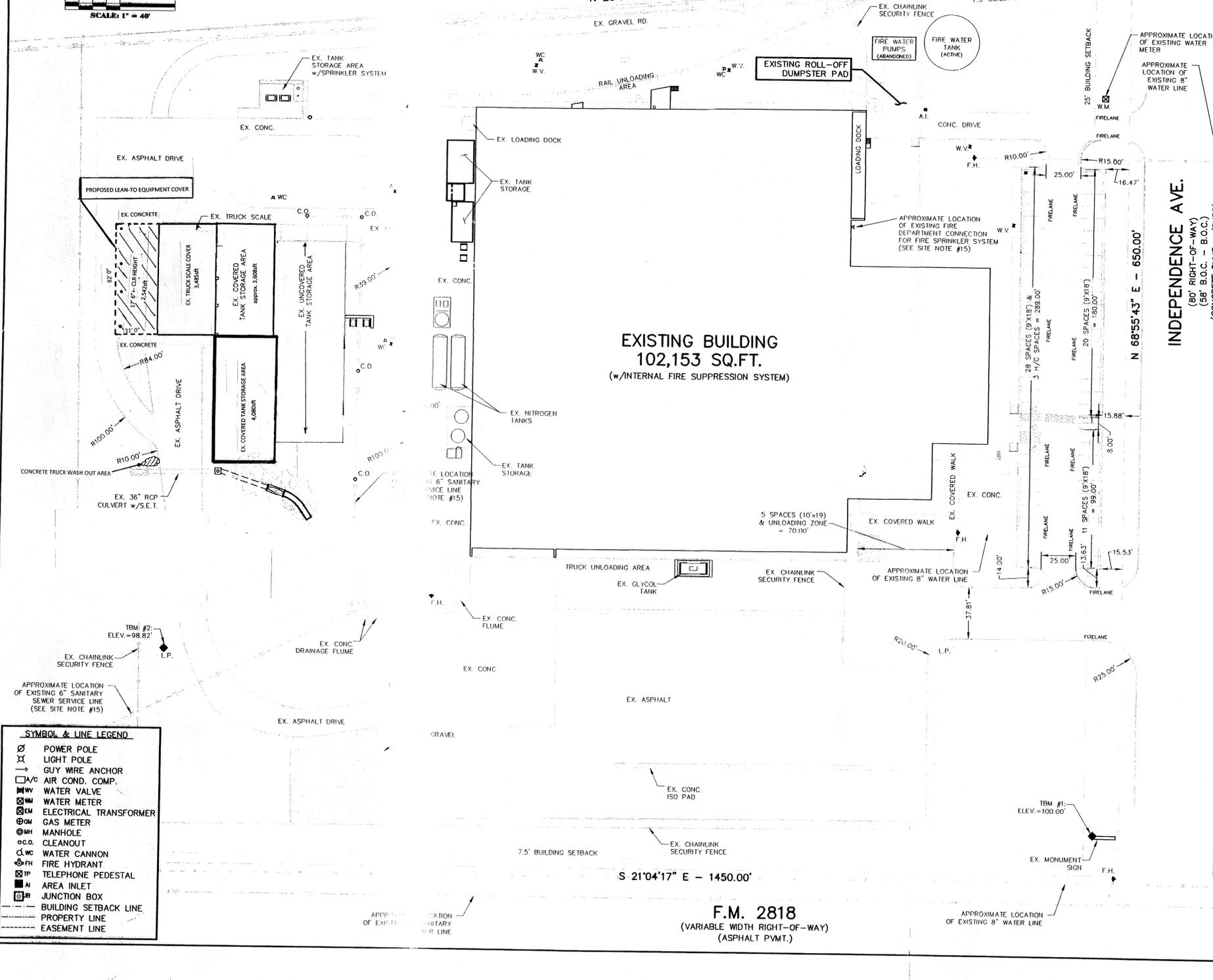


NOW OR FORMERLY  
**KRISTEN PROPERTIES**  
 BRAZOS CO INDUSTRIAL PARK #3  
 LOT 9, BLOCK 1 - 5.0 ACRES  
 ZONED: PLANNED DEVELOPMENT - INDUSTRIAL  
 (VOLUME 3410, PAGE 208)

N 25°07'45" W - 1424.26'

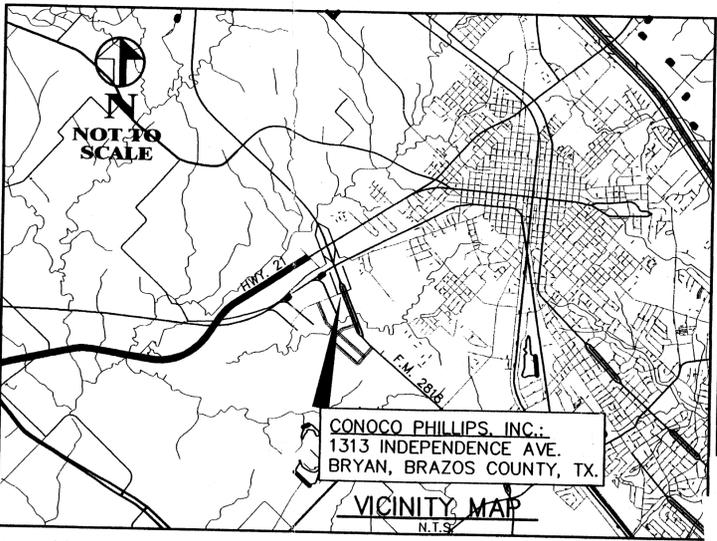


**SITE NOTES:**

1. A PORTION OF THIS SITE DOES LIE WITHIN THE 100-YEAR FLOODPLAIN AS GRAPHICALLY DEPICTED FEMA FIRM COMMUNITY NO. 48041C, PANEL NO. 0137 C, WITH AN EFFECTIVE DATE OF JULY 2, 1992.
2. DESIGNATED HANDICAP PARKING SPACES, WALKS & RAMPS SHALL MEET ALL TAS & ANSI STANDARDS.
3. ENHANCED PAVING FOR CONCRETE SIDEWALKS SHALL CONSIST OF EITHER BRICK PAVERS OR STAMPED CONCRETE. COLOR AND PATTERN SHALL BE DETERMINED BY THE OWNER, BUT GRAY OR NATURAL CONCRETE COLORS ARE NOT PERMITTED.
4. WHEN BUILDING SETBACKS AND EASEMENT LINES OVERLAP ONLY THE EASEMENT LINE IS SHOWN.
5. 100% COVERAGE OF GROUND COVER, DECORATIVE PAVING, DECORATIVE ROCK, OR A PERENNIAL GRASS IS REQUIRED IN PARKING LOT ISLANDS, SWELLS AND DRAINAGE AREAS. THE PARKING LOT SET BACK, RIGHT-OF-WAY, AND ADJACENT PROPERTY DISTURBED DURING CONSTRUCTION.
6. THE IMPROVEMENTS SHOWN SHALL CONSTITUTE APPROXIMATELY 35% IMPERVIOUS COVER ON THE SUBJECT PROPERTY.
7. DETENTION OF INCREASED IMPERVIOUS COVER, ILLUSTRATED ON THIS SITE PLAN, IS PROVIDED FOR IN THE NEW PARKING AREA AND METERED BY THE PROPOSED AREA INLET.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINMENT AND PROPER DISPOSAL OF ALL LIQUID AND SOLID WASTE ASSOCIATED WITH THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE OCCURRENCE OF WIND BLOWN LITTER FROM THE PROJECT SITE.
9. THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE CONTAINMENT FOR WASTE PRIOR TO, AND DURING, DEMOLITION/CONSTRUCTION. SOLID WASTE ROLL-OFF BOXES/METAL DUMPSTERS SHALL BE SUPPLIED BY CITY OR CITY PERMITTED CONTRACTOR(S) ONLY.
10. THE MINIMUM CLEAR SPACE, WHEN FULLY OPEN, SHALL BE TWENTY FEET (20') FOR ALL VEHICULAR SECURITY GATES. GATES WILL SWING UP WITH COLLAPSIBLE ARMS AND SHALL BE EQUIPPED WITH KNOX BOXES FOR FIRE DEPARTMENT ENTRY.
11. HOLDING VESSELS FOR STORAGE OF MOTOR OIL, ANTI-FREEZE, AND OIL FILTERS SHALL BE KEPT IN CONTAINERS AND LOCATED IN AN AREA THAT WILL PREVENT THE RELEASE OF POLLUTANTS INTO THE ENVIRONMENT DURING DISPOSAL, SERVICING, AND/OR A RAINFALL EVENT.
12. SANITARY SEWER GENERATED FROM THIS SITE WILL BE NORMAL DOMESTIC WASTEWATER AND INDUSTRIAL WASTEWATER BY DEFINITION.
13. THE EXISTING WESTERLY DRIVEWAY ON THIS SITE IS USED AS A SERVICE AND EMERGENCY DRIVE ONLY. THE PROPOSED PARKING LOT IS TIED TO THIS EXISTING DRIVEWAY FOR THE SOLE PURPOSE OF PREVENTING A TRAPPED CONDITION AT THE END OF A LONG PARKING LOT.
14. HEAVY INDUSTRIAL TRAFFIC (WB-50 VEHICLES) EXCLUSIVELY USE THE EASTERLY DRIVEWAY AS THEY INGRESS/EGRESS THE SITE TOWARDS F.M. 2818 ONLY. ROUTINE TRAFFIC OF WB-50 VEHICLES WILL NOT TURN LEFT OUT OF THE EASTERLY DRIVEWAY AND PROCEED WEST ON INDEPENDENCE AVENUE.
15. THE APPROXIMATE LOCATION OF THESE UTILITY LINES AND APPURTENANCES ARE SHOWN AS ILLUSTRATED TO RME CONSULTING ENGINEERS BY CONOCO PHILLIPS IN A MEETING ON JULY 7, 2008, WITH OPERATIONS ENGINEER, JAY MILES AND HSE RESOURCE CSPL, JOHN DEVINE.

**DIMENSIONAL CONTROL NOTES:**

1. THE CONTRACTOR MAY OBTAIN AN ELECTRONIC COPY OF THE SITE PLAN FOR CONSTRUCTION PURPOSES. THE ELECTRONIC FILE AND INFORMATION GENERATED, BY RME CONSULTING ENGINEERS (RME), FOR THIS PROJECT IS CONSIDERED BY RME TO BE CONFIDENTIAL. WHEN ISSUED, IT'S USE IS INTEND SOLELY FOR THE INDIVIDUAL OR ENTITY TO WHICH IT IS ADDRESSED. THIS MATERIAL IS INTENDED FOR USE BY THE RECIPIENT NAMED, ONLY, AND PERMISSION IS NOT GRANTED TO THE RECIPIENT FOR DISTRIBUTION OF THESE DOCUMENTS IN ANY FORM OR FASHION. THE RECIPIENT UNDERSTANDS THAT THIS DATA IS AUTHORIZED "AS IS" WITHOUT ANY WARRANTY AS TO ITS PERFORMANCE, ACCURACY, FREEDOM FROM ERROR, OR AS TO ANY RESULTS GENERATED THROUGH ITS USE. THE RECIPIENT ALSO UNDERSTANDS AND AGREES THAT RME, UPON RELEASE OF SUCH DATA, IS NO LONGER RESPONSIBLE FOR THEIR USE OR MODIFICATION. THE USER AND RECIPIENT OF THE ELECTRONIC DATA ACCEPTS FULL RESPONSIBILITY AND LIABILITY FOR ANY CONSEQUENCES ARISING OUT OF THEIR USE.
2. ALL DIMENSIONS SHOWN ARE TO BE USED IN CONJUNCTION WITH THESE PLANS FOR LOCATING ALL IMPROVEMENTS AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR FOR WORKABILITY PRIOR TO CONSTRUCTION OF IMPROVEMENTS.
3. UNLESS OTHERWISE SHOWN, ALL DIMENSIONING IS TO THE BACK OF CURB OR EDGE OF PAVEMENT, WHICHEVER IS APPLICABLE.
4. UNLESS OTHERWISE SHOWN, ALL RADIUS FOR CURBS ARE 4'-0" (AT BACK OF CURB) AND 2'-0" FOR SIDEWALKS.
5. A BOUNDARY SURVEY WAS NOT COMPLETED ON THE GROUND, BUT A GENERAL TOPOGRAPHICAL SURVEY WAS COMPLETED ON THE GROUND BY PART FOR THE SOLE PURPOSE OF ENGINEERING DESIGN THE BASIS OF WHICH AND THE SURVEY DATA SHOWN IS DERIVED FROM THE FINAL PLAT FOR THE BRAZOS COUNTY INDUSTRIAL PARK, RECORDED ON JUNE 4, 1970, PREPARED UNDER THE SUPERVISION OF B.J. KLING, R.P.S. No. 680.
6. I.B.M. #1: SQUARE CHISELED IN SW CORNER OF CONCRETE FOOTING OF CONOCO PHILLIPS MONUMENT SIGN LOCATED NEAR THE NORTHEAST CORNER OF THE SUBJECT PROPERTY. (ELEV. = 100.00' - ASSUMED)
7. I.B.M. #2: SQUARE CHISELED IN LIGHTPOLE BASE ~ 125' WEST OF THE SOUTHEAST CORNER OF THE CHAINLINK SECURITY FENCE, ON THE SUBJECT PROPERTY. (ELEV. = 98.82' - ASSUMED)



**SYMBOL & LINE LEGEND**

⊙	POWER POLE
⊙	LIGHT POLE
⊙	GUY WIRE ANCHOR
□	AIR COND. COMP.
WV	WATER VALVE
WM	WATER METER
EM	ELECTRICAL TRANSFORMER
GM	GAS METER
MH	MANHOLE
CCO	CLEANOUT
WC	WATER CANNON
FH	FIRE HYDRANT
TP	TELEPHONE PEDESTAL
AI	AREA INLET
JB	JUNCTION BOX
---	BUILDING SETBACK LINE
---	PROPERTY LINE
---	EASEMENT LINE

**PROPERTY INFORMATION**  
**BRAZOS COUNTY INDUSTRIAL PARK #1**  
 LOT 9, BLOCK ONE  
 (19.74 ACRES or 859,874 SQ.FT.)  
 ZONED: PLANNED DEVELOPMENT - INDUSTRIAL  
 NOW OR FORMERLY  
**CONOCO PHILLIPS, INC.**  
 (VOL. 2302, PG. 138)

**PARKING REQUIREMENTS:**  
 ORDINANCE:  
 MANUFACTURING - 1 SPC/2 EMPLOYEES ON LARGEST SHIFT  
 REQUIRED:  
 LARGEST SHIFT = 40 EMPLOYEES  
 (40 / 2) = 20 SPACES  
**TOTAL REQUIRED = 20 SPACES**  
 EXISTING: REGULAR = 64 SPACES  
 H/C = 3 SPACES  
**TOTAL PROVIDED = 67 SPACES**

**CIVIL SITE PLAN**  
 FOR THE  
**TANK FARM EXPANSION**  
**CONOCO PHILLIPS, INC.**  
 1331 INDEPENDENCE AVENUE  
 BRYAN, TX  
 BRAZOS COUNTY INDUSTRIAL PARK #1  
 LOT 9, BLOCK 1 - CALLED 19.74 ACRES  
 BRAZOS COUNTY, TEXAS

NOV 02 2010

**C1.1**

DB