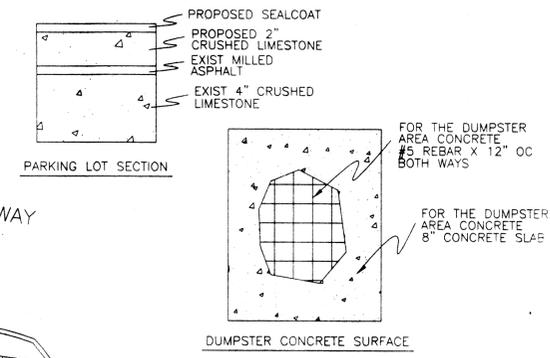
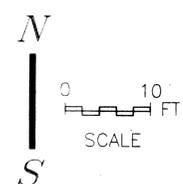
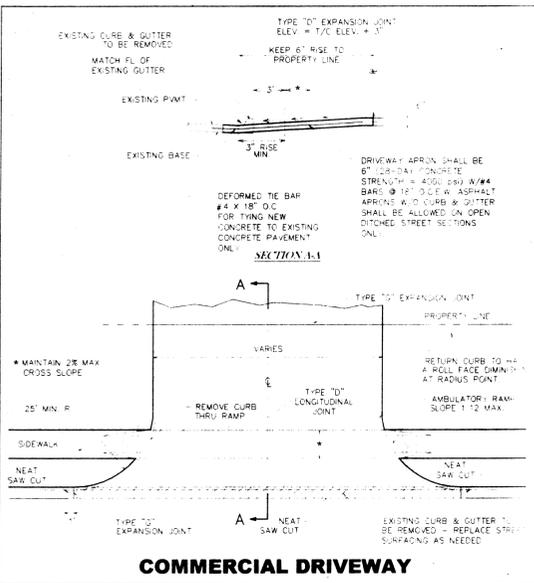
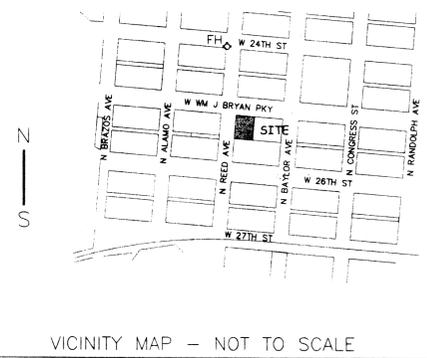


LANDSCAPING ANALYSIS		
LANDSCAPING REQUIRED		
TOTAL LOT AREA	14,375 S.F.	
LANDSCAPING (8% OF DEV. AREA- REDEVELOPMENT)	1,150 S.F.	
POINTS REQUIRED	1,150	
LANDSCAPING PROVIDED		
EXISTING		
CANOPY TREES		
POST OAKS	2x225	450
GROUND COVER		
HYDROMULCHED GRASS	10x2,500/100	250
2,500 S.F.		
PROPOSED		
CANOPY TREES		
LIVE OAK (1.5"-3")	2x200	400
NON-CANOPY TREES		
GRAPE MYRTLE (1.5"-3")	1x150	150
TOTAL POINTS PROVIDED	1,250	

LAY OF HOSE DIST. FROM CLOSEST FH AT CORNER OF REED AVE. AND 24' VARIANCE REQUESTED APPROVED BY FIRE MARSHALL ON OCT. 19, 2006.

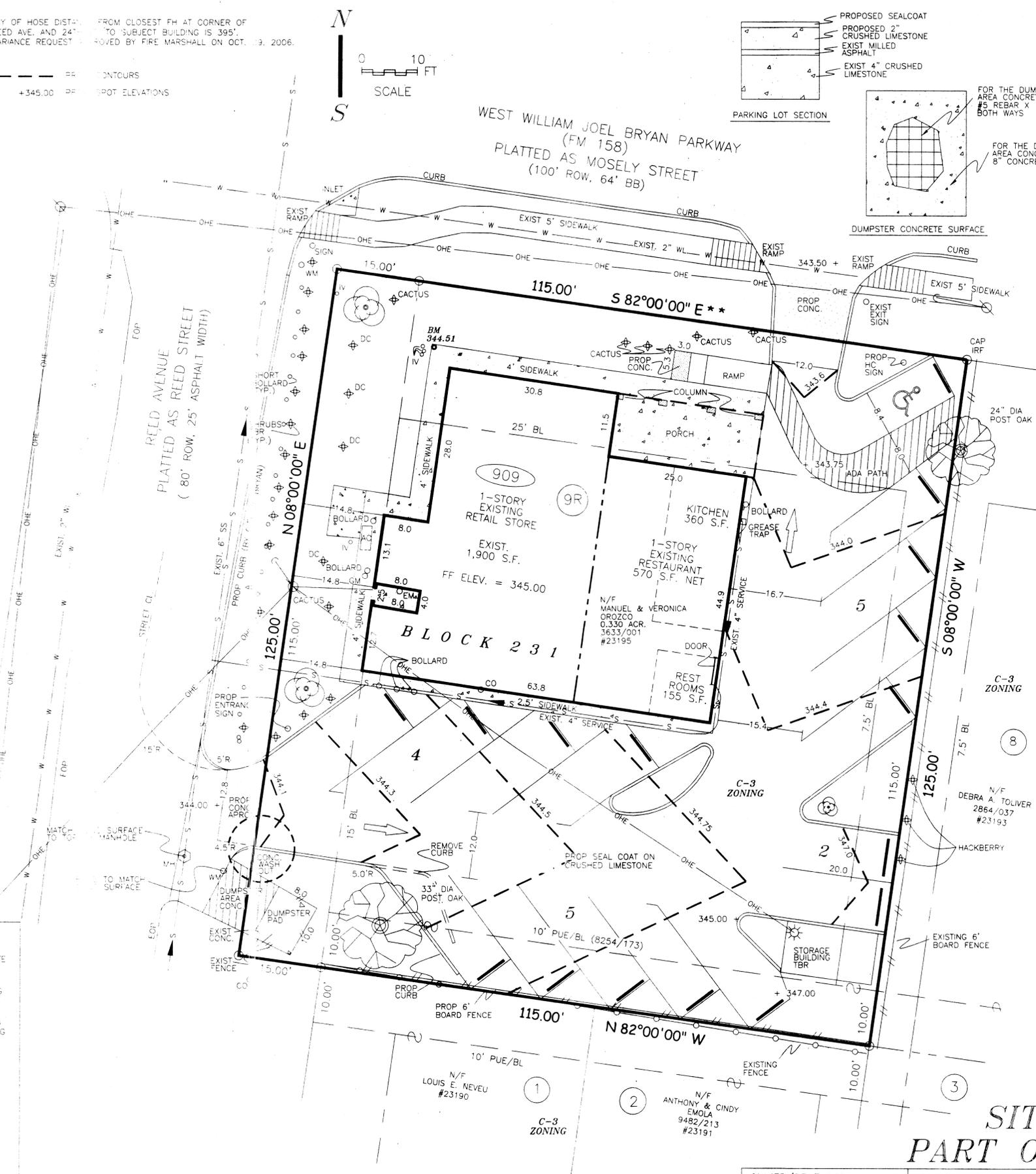


LEGEND	
IR	IRON ROD
IP	IRON PIPE
CM	CONCRETE MARKER
MCC	MARK ON CONCRETE
CAP	CAPPED
SET	SET
FP	FOUND
FC	FENCE POST
FC	FENCE CORNER
ROW	RIGHT OF WAY
BL	BACK TO BACK OF CURB
BL	BUILDING LINE
PUE	PUBLIC UTILITY EASMT.
EE	ELECTRICAL EASEMENT
DE	DRAINAGE EASEMENT
AE	ACCESS EASEMENT
PAE	PARKING/ACCESS EASMT.
ET	ELECTRIC TRANSFORMER
EP	ELECTRICAL
LP	POWER POLE
LP	LIGHT POLE
VH	MANHOLE
CO	CLEAN OUT
G	GAS
W	WATER
WV	WATER VALVE
SS	SANITARY SEWER
FS	FIRE HYDRANT
TE	TELEPHONE PEDESTAL
TV	CABLE TV
M	METER/MARKER
AC	AIR CONDITIONER
OH	OVERHANG
EOP	EDGE OF PAVEMENT
BOC	BACK OF CURB
PE	PEDESTRIAN ACCESS EASMT.
V	IRRIGATION VALVE
DC	DWARF CEDAR
HC	HANDICAP
TBR	TO BE REMOVED
(M)	MEASURED
(R)	RECORDED

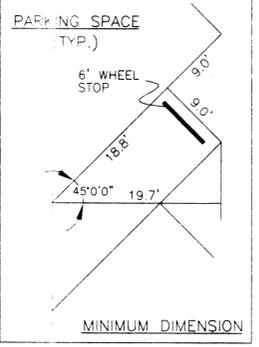


WATER CONSUMPTION
SANITARY SEWER DEMAND
NO CHANGE FROM CURRENT WATER CONSUMPTION OR SANITARY SEWER DEMAND.

- EROSION CONTROL NOTES**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEDIMENTATION CONTROL DURING CONSTRUCTION AND SHALL TAKE THE NECESSARY STEPS TO MITIGATE THE AMOUNT OF SOIL AND DEBRIS ORIGINATED AT THE SITE AND CARRIED ONTO PUBLIC RIGHTS OF WAY, WATER COURSES AND ADJACENT PROPERTY. TO THIS EFFECT THE CONTRACTOR SHALL INSTALL A SILTING BARRIER ALONG THE LOWER ENDS OF THE LAND BEING DISTURBED AS SHOWN HERE AND ACCORDING TO THE DETAIL SHOWN ON THIS SHEET.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING A CONSTRUCTION ENTRANCE A MINIMUM OF 50' LONG BY A MINIMUM OF 12' WIDE CONSISTING OF ROCK-RUBBLE WITH PIECES 1-1/2" TO 3-1/2" IN DIAMETER, A MINIMUM OF 6" DEEP. SHOULD THE CONTRACTOR USE ANOTHER ENTRANCE HE SHALL BE REQUIRED TO INSTALL A CONSTRUCTION ENTRANCE AT EACH ADDITIONAL ENTRY POINT WHERE MUD IS TRACKED ONTO CITY STREETS.
 - ALL STORM DRAINAGE INLETS WILL BE PROTECTED DURING CONSTRUCTION FROM RUNOFF SEDIMENTATION BY A 6" HIGH BARRIER MADE UP OF 20 LB HAY FILLED BURLAP BAGS (OR EQUIVALENT BARRIER).
 - ALL AREAS WHERE EXISTING VEGETATION AND GRASS COVER HAVE BEEN BARED BY CONSTRUCTION SHALL BE ADEQUATELY BLOCK SODDED OR HYDROMULCHED AND WATERED UNTIL GROWTH IS ESTABLISHED. IN DEVELOPED AREAS WHERE GRASS IS PRESENT, BLOCK SOD WILL BE REQUIRED. BARED AREAS SHALL BE SEEDED OR SODDED WITHIN 14 CALENDAR DAYS OF LAST DISTURBANCE.
 - APPROVED EROSION CONTROL MEASURES MUST BE INSTALLED DURING THE ENTIRE TIME THAT EARTH HAS BEEN BARED BY CONSTRUCTION AND SHALL STAY IN PLACE UNTIL ACCEPTABLE VEGETATIVE GROWTH IS ESTABLISHED. IT SHALL THEN BE REMOVED BY THE CONTRACTOR.
 - ALL EROSION CONTROL MEASURES SHOULD BE CLEANED OF SILT AFTER EVERY RAIN.
 - RIP-RAP SHALL BE 20 LB. PIECES, ROCK RUBBLE ON PLASTIC LINER.



- CONSTRUCTION NOTES:**
- ALL INFRASTRUCTURE WITHIN THE SITE IS EXISTING EXCEPT AS NOTED.
 - ALL CONSTRUCTION MATERIALS AND METHODS SHALL CONFORM WITH THE 2009 UNIFIED TECHNICAL SPECS AND DETAILS. WHERE CONFLICT OCCURS BETWEEN PLANS AND THE B/C/S UNIFIED SPECS AND DETAILS, THE MORE CONSERVATIVE SHALL PREVAIL. A COPY OF THESE UNIFIED STANDARDS SHALL BE KEPT ON SITE DURING CONSTRUCTION.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE EXACT DEPTH & LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AFFECTING THIS PROJECT PRIOR TO COMMENCING ANY WORK. ALL EXISTING UTILITY LOCATIONS SHOWN HERE ARE APPROXIMATE. THE CONTRACTOR SHALL PROTECT ALL UNDERGROUND UTILITIES AFFECTING THIS PROJECT.
 - THE CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST 2 DAYS PRIOR TO START OF CONSTRUCTION:
 WATER SERVICES & WASTEWATER SERVICES - 209-5900
 BTU (ELECTRICAL SERVICES) - 821-5830
 ATMOS - 774-2527
 VERIZON - 1800-344-8377 OR 821-4791
 SUDDENLINK - 690-6500
 DIG TESS - 1-800-344-3877
 IF ANY OF THE ABOVE NUMBERS HAVE CHANGED THE CONTRACTOR SHALL OBTAIN THE CORRECT ONES.
 - THE CONTRACTOR SHALL MAINTAIN ACCURATE RECORDS OF ANY CONSTRUCTION CHANGES IN ORDER TO FACILITATE THE PREPARATION OF "AS-BUILT DRAWINGS" WHICH SHALL BE SUBMITTED TO THE CITY WITHIN 30 DAYS OF COMPLETION OF CONSTRUCTION.
 - THE CONTRACTOR SHALL COORDINATE ALL PROPOSED WORK AND PROCEDURES WITH THE CITY OF BRYAN.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION LAYOUT AND SURVEYING SERVICES BY LICENSED SURVEYOR.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINMENT AND PROPER DISPOSAL OF ALL LIQUID AND SOLID WASTE ASSOCIATED WITH THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE OCCURRENCE OF WIND BLOWN LITTER FROM THE PROJECT SITE.
 - WASTE CONTAINMENT SHALL BE PROVIDED PRIOR TO AND DURING DEMOLITION/CONSTRUCTION. SOLID WASTE ROLL OFF BOXES AND/OR METAL DUMPSTERS SHALL ONLY BE SUPPLIED BY CITY OR BY CITY-PERMITTED CONTRACTORS.
 - ANY ADVERTISING SIGNS WILL BE ATTACHED.
 - THIS TRACT DOES NOT LIE WITHIN A 100-YR FLOOD PLAIN (FEMA FIRM MAP # 48041 C 0133 C, DATED JULY 2, 1992).
 - ALL PARKING SPACES WILL BE MARKED TO CONFORM TO THE TEXAS MUTCD.
 - BOLLARDS ALONG REED AVE. ARE SHORT AND SHALLOW AND WILL BE REMOVED AFTER THE CITY OF BRYAN INSTALLS CURB AT THAT LOCATION.
 - TWO (2) 30" DIAMETER SIGNS SHALL BE PLACED AT THE ENDS OF REED AVE. AT FM 52 (N. J. BRYAN PKWY.) AND MEET THE REQUIREMENTS OF THE TEXAS MUTCD.



PARKING ANALYSIS	
RESTAURANT	
BUILDING AREA = 570 S.F.	
REQUIRED PARKING = 1.25 / 100 S.F.	7.1
RETAIL	
BUILDING AREA = 1,900 S.F.	
REQUIRED PARKING = 1.00 / 250 S.F.	7.6
TOTAL REQUIRED PARKING PAGES	14.7
TOTAL PROVIDED PARKING PAGES	16
(1 DESIGNATED H.C., VAN ACCESSIBLE)	

ALINDO ENGINEERS AND PLANNERS, INC.
 3833 SOUTH TEXAS AVE., SUITE 213 BRYAN, TEXAS 77802 979-846-8868

OWNER/DEVELOPER:
 MANUEL & VERONICA OROZCO
 909 WEST W. J. BRYAN PKWY.
 BRYAN, TX 77803
 TEL: 822-6092
 FAX: 822-6092
 CELL: 575-1896

**SITE PLAN
 PART OF BLOCK 231**
 0.3300 ACRE
 909 WEST W.J. BRYAN PARKWAY
 LOT 9R, BLOCK 231,
 BRYAN ORIGINAL TOWNSITE,
 VOLUME 8254, PAGE 173,
 BRYAN, BRAZOS COUNTY, TEXAS

DATE: SEPTEMBER 1, 2010	PROJECT
DESIGNED BY: CJT	19-10
APPROVED BY: CAG	SHEET
REVISIONS: SEPTEMBER 10, 2010	1 of 1

RECEIVED
 SEP 27 2010
 Development & Engineering Services

DB