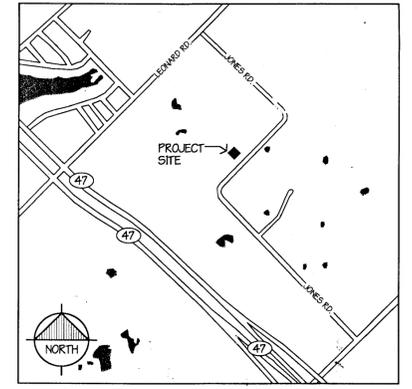


- PROJECT IDENTIFICATION:  
PROJECT NAME: TEXAS A&M EQUESTRIAN CENTER  
LOCATION: 0.7 MI. SOUTHEAST ALONG JONES RD.  
FROM FM 1698 (LEONARD RD.)  
LEGAL DESCRIPTION: LOT 2, BLOCK 1, BRAZOS COUNTY  
EXPOSITION CENTER  
SUBDIVISION - PHASE 2A.
- APPLICANT INFORMATION:  
KEVIN HURLEY, ASSOCIATE ATHLETIC DIRECTOR  
FOR INTERNAL OPERATIONS  
TEXAS A&M UNIVERSITY  
P.O. BOX 30077  
COLLEGE STATION, TX 77842  
(979) 862-2575
- OWNER INFORMATION:  
BRAZOS COUNTY  
C/O BRAZOS COUNTY JUDGE RANDY SIMS  
300 E. 26TH STREET, SUITE 114  
BRYAN, TX 77802  
(979) 361-4102
- TOTAL SITE AREA IS 3.65 ACRES (GROSS).  
AREA TO BE DEVELOPED IS 1.75 ACRES.
- CURRENT ZONING: A-O (AGRICULTURAL-OPEN)
- CURRENT USE: EQUESTRIAN FACILITY
- PROPOSED USE: EQUESTRIAN FACILITY
- CURRENT BUILDING HEIGHT: 22'-6"
- NO PORTION OF THE 1.75 ACRE DEVELOPMENT TRACT LIES WITHIN THE 100-YR FLOOD PLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP FOR BRAZOS COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY NO. 481636, PANEL NO. 0500, MAP NO. 480410205.
- ALL PUBLIC AND PRIVATE UTILITY LINES & SERVICE LINES INCLUDING WATER LINES, SANITARY SEWER LINES, ELECTRIC LINES, COMMUNICATION LINES, ETC. SHALL BE UNDERGROUND INSTALLATIONS & INSTALLED TO CITY OF BRYAN STANDARDS, UNLESS OTHERWISE NOTED.
- EASEMENTS SHOWN ARE TO BE DEDICATED VIA A SEPARATE INSTRUMENT.
- BUILDING AREA: 8,745 SQ. FT.  
MODULAR BUILDING AREA: 370 SQ. FT.
- DIMENSIONS ARE MEASURED TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL DISTURBED EARTH MUST BE 100% COVERED WITH ESTABLISHED GRASS OR GROUND COVER PRIOR TO CERTIFICATE OF OCCUPANCY.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION OF ALL FRANCHISE & PRIVATE UTILITIES WITH EARTHWORK & PAVEMENT CONSTRUCTION. GENERAL CONTRACTOR IS RESPONSIBLE FOR FURNISHING & INSTALLING ANY NECESSARY UTILITY CONDUIT PRIOR TO SUBGRADE PREPARATIONS & PAVING OPERATION. GENERAL CONTRACTOR IS RESPONSIBLE FOR DETERMINATION OF UTILITY INSTALLATION ORDER.



VICINITY MAP - BRYAN, TEXAS NT.S. 4

**PATTERSON ARCHITECTS**  
Design for the future  
www.pataarch.com  
701 South Texas Ave.  
Bryan, Texas 77803  
voice: 979.775.6036  
fax: 979.779.0727  
design@pataarch.com  
M.E.P.

**SITE SPECIFIC NOTES**

- EXISTING TREE
- EXISTING CRAPE MYRTLE
- ASPHALT PAVING
- 8" WATER PIPE
- 2" WATER PIPE
- 4" SANITARY SEWER PIPE
- UNDERGROUND ELECTRIC LINE
- OVERHEAD ELECTRICAL LINE
- EXISTING FENCE
- SANITARY SEWER MAN HOLE
- EXIST. CONTOUR LINE
- PROPERTY LINE

NO SCALE 16

**LEGEND**

- STRIP 6" GRASS AND TOPSOIL AND PROOF ROLL
- REMOVE ANY WEAK SPOTS (REPLACE WITH SELECT FILL P.1 = 7 TO 20)
- COMPACT EXISTING SUBGRADE TO 95% STARDARD PROCTER (+/- 2% MOISTURE)
- PLACE 2" THICK ASPHALTIC CONCRETE PAVING.
- HYDRO SEED ALL GRADED AREAS.

NO SCALE 19

**PAVING REQUIREMENTS**

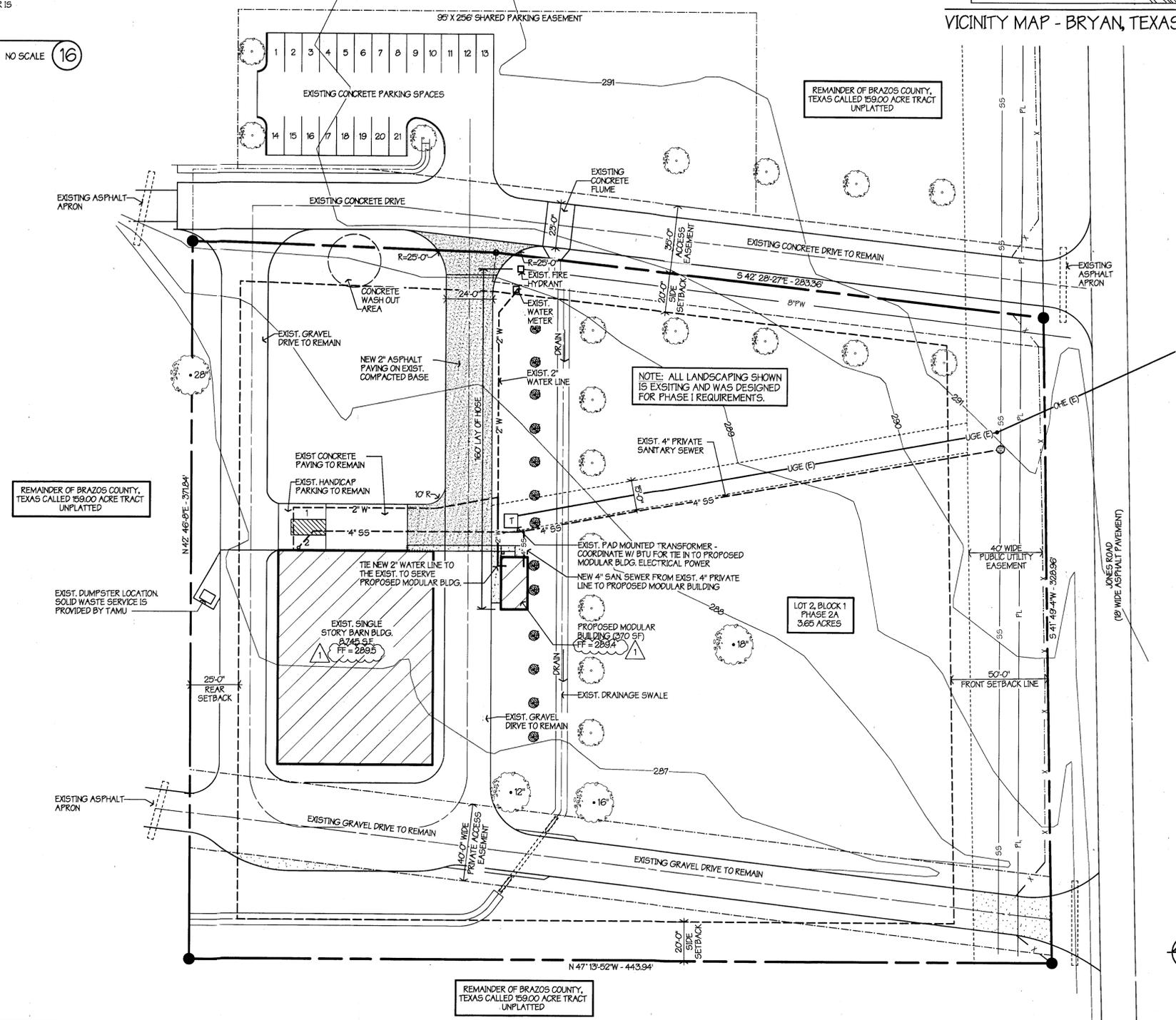
- REMOVE ALL EXISTING TREES, CONSTRUCTION OR OTHER OBSTRUCTIONS THAT WILL INTERFERE WITH CONSTRUCTION. VERIFY WITH OWNER OR ARCHITECT AT SITE.
- PROTECT ALL EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE DURING CONSTRUCTION (I.E. BUILDINGS, PAVING, WALKS, STREETS, FENCES, ETC.)
- PROTECT FROM DAMAGE ALL EXISTING TREES THAT ARE TO REMAIN DURING CONSTRUCTION. MAINTAIN BARRIERS AROUND TREES AT A DISTANCE OF THE DRIPLINE PLUS 5'-0" BE COND.
- REFER TO SITE PLAN FOR APPROXIMATE LOCATION OF ALL KNOWN UTILITIES. VERIFY LOCATIONS OF ALL WATER, POWER, SANITARY SEWER, STORM SEWER, GAS, ETC. PROTECT AND MARK APPROPRIATELY PRIOR TO BEGINNING ANY EXCAVATION, NEW CONSTRUCTION OR OTHER WORK AT THE SITE.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS DURING LAYOUT AT THE SITE AND SHALL CONTACT THE ARCHITECT SHOULD ANY PROBLEM BECOME EVIDENT.
- AREAS TO BE SEEDDED INCLUDE ALL AREAS WHERE GRADING IS REQUIRED OR WHERE GRASS IS DISTURBED. DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION (PULVERIZE TOP SOIL, FINE GRADE AND RAKE FOR PLANTING).
- THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEERING DIVISION FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY CONSTRUCTION IN CITY RIGHT-OF-WAY AND/OR PUBLIC UTILITY EASEMENT.
- DURING CONSTRUCTION THE GENERAL CONTRACTOR SHALL MAKE PROVISIONS FOR THE POTENTIAL EROSION OF SOIL FROM THE SITE THROUGH THE USE OF HAY BALES OR SILT FENCES STRATEGICALLY PLACED AROUND THE PROPERTY AND AT EXISTING STORM DRAIN INLETS ADJACENT TO NEW CONSTRUCTION. THE GENERAL CONTRACTOR SHALL OBTAIN FINAL APPROVAL OF THE ACTUAL METHOD REQUIRED AND ITS PLACEMENT FROM THE CITY ENGINEERING DIVISION PRIOR TO BEGINNING ANY SITEMARK.
- ACCESSIBLE ROUTES SHALL NOT EXCEED 5% SLOPE (120) IN THE DIRECTION OF TRAVEL. CROSS-SLOPE NOT TO EXCEED 2% (150).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINMENT AND PROPER DISPOSAL OF ALL LIQUID AND SOLID WASTE ASSOCIATED WITH THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE OCCURRENCE OF WINDBLOWN LITTER FROM THE PROJECT SITE.
- DEMOLITION/CONSTRUCTION WASTE - SITE IS REQUIRED TO PROVIDE CONTAINMENTS FOR WASTE PRIOR TO AND DURING DEMOLITION/CONSTRUCTION. SOLID WASTE ROLL OFF BOXES AND/OR METAL DUMPSTERS SHALL BE SUPPLIED BY CITY OR CITY PERMITTED CONTRACTOR(S) ONLY.

NO SCALE 18

**GENERAL SITE NOTES**

NO SCALE 17

**SITE PLAN**



STRUCTURAL  
CIVIL AND SURVEY

**SITE IMPROVEMENT FOR TEXAS A&M EQUESTRIAN FACILITY**  
BRYAN, TEXAS  
JONES ROAD

Not Date:	Issue Notes:
07/11	5/27/2011
Drawn By:	AR
Checked By:	FP
Patterson Project No.:	1120
Building Inventory No.:	
Plot Date:	Jun 8, 2011
CAD File:	ATL Site Plan 1120.rvt
Project No.:	
Sheet Title:	<b>SITE PLAN</b>
Sheet:	<b>A1.1</b>
	1 of 2

1"=30'-0" 1