

**LEGAL DESCRIPTION:**  
 TEJAS CENTER SUBDIVISION  
 LOCATED @ VILLA MARIA & TEXAS AVENUE BRYAN, TEXAS  
 (THIS PROJECT BEHIND 3109 SOUTH TEXAS AVENUE)

**THIS PROJECT SCOPE:**  
 CONSTRUCT 30'X30' CANOPY COVERED, PUBLIC PAVILION

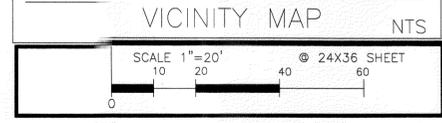
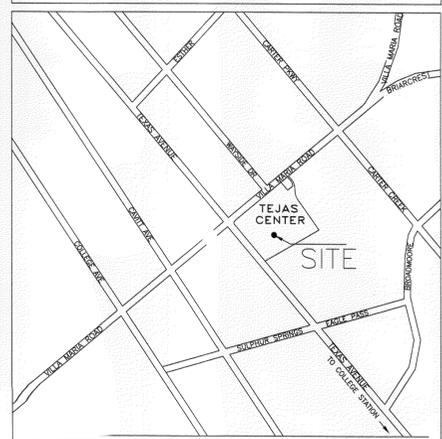
- LEGEND:**
- (6) CONSTRUCTION ITEM IDENTIFICATION MARKER
  - (b) PAINTED HANDICAP PARKING MARKER
  - (h) HANDICAP PARKING SIGN
  - [Pattern] GROUND COVER, LANDSCAPE AREA
  - [Pattern] TEXAS MUHLY GRASS LANDSCAPING

- IDENTIFICATION MARKERS**
- (1) CONCRETE PAVING PAVILION FLOOR
  - (2) CONCRETE SIDEWALK
  - (3) RAISED PLANTER STRUCTURE W/ SIGN
  - (4) HC RAMP
  - (5) 6" CONC CURB
  - (6) LANDSCAPE AREA
  - (7) PAINTED PAVEMENT MARKING
  - (8) EXISTING PAVING
  - (9) PLANTER AREA
  - (10) WATER TAP W/ 3/4" VALVE, METER AND 3/4" COPPER SERVICE TO PAVILION.
  - (11) 3" U.G. PVC IRRIGATION SLEEVE FOR 3/4" WATER SERVICE LINE
  - (12) HOSE BIB IN UG VAULT
  - (13) RELOCATED YARD LIGHT
  - (14) UG ELECT CONDUIT FROM NEW POLE & METER
  - (15) MASONRY BENCH
  - (16) CONCRETE WHEEL STOP
  - (17) VEHICLE ACCESS RAMP
  - (18) STORMWATER DRAIN AND INLET
  - (19) 6" STAINED CONCRETE WALK AREA
  - (20) 6" PVC UG STORM DRAIN

- SITE INFORMATION**
- **MISCELLANEOUS BUILDING DATA:** CONCRETE FLOOR WITH OPEN AIR (NO WALLS) CANOPY STRUCTURE
  - **SITE CONSTRUCTION AREA:** PAVILION CONSTRUCTION AREA = 7,860sf = 0.18acres
  - **SITE ZONING:** R, RETAIL
  - **FLOODPLAIN:** FLOODING POTENTIAL HAS BEEN CONSIDERED AT TIME OF SHOPPING CENTER REBUILD. NO STORMWATER MODIFICATIONS THIS PROJECT.
  - **STORM WATER DRAINAGE:** ON SITE STORM WATER TO BE SURFACE DRAINED TO EXISTING STORMWATER COLLECTION SYSTEM. NO CHANGES THIS PROJECT.
  - **SITE GRADING & DRAINAGE:** DRAINAGE CONTOURS AND FLOW ELEVATIONS SHOWN BY SHEET C1.2
  - **FIRE PROTECTION:** FIRE HYDRANT LOCATION SHOWN THIS SHEET  
FIRE HOSE LAY - 375' ALONG PAVED DRIVEWAY  
ENTIRE BLDG WITHIN 167' RADIUS CIRCLE FROM FIRE HYDRANT
  - **PARKING:** PARKING REQUIREMENTS PREVIOUSLY MET FOR ENTIRE SUBDIVISION AS SUBMITTED FOR TEJAS CENTER.  
NO PARKING REQUIREMENT CHANGES CREATED BY THIS PROJECT  
TWO ADDITIONAL HC PARKING SPACES PROVIDED BY THIS PLAN.
  - **LANDSCAPING:** LANDSCAPING ACCORDING TO ARCHITECTURAL AND LANDSCAPE PLANS. LANDSCAPING ANALYSIS AND DETAILS TO BE PROVIDED AND APPROVED PRIOR TO BUILDING PERMIT.
  - **SITE LIGHTING:** ONE YARD LIGHT POLE RELOCATED BY APPROX. TWELVE (12) FEET
  - **ELECTRIC POWER AND TELEPHONE:** ELECTRIC POWER PROVIDED FROM NEW METER TO PROVIDE SECURITY LIGHTING AND CONVENIENCE POWER. POWER SUPPLY VIA UNDERGROUND CONDUIT. NO TELEPHONE SERVICE FOR THIS FACILITY.
  - **WATER AND SEWER:** WATER - WATER SERVICE IS TO INCLUDE A CITY WATER MAIN TAP AND METER AT LOCATION SHOWN THIS DRAWING  
SEWER - NO SEWER SERVICE IS PROVIDED.
  - **OFFSITE IMPROVEMENTS:** NO OFFSITE/RIGHT-OF-WAY IMPROVEMENTS INCLUDED IN THIS PROPOSAL.
  - **SIGNAGE:** NO ADDITIONAL SIGNS REQUESTED BY THIS PROPOSAL.

**GENERAL CONSTRUCTION NOTES**

- ONE EXISTING YARD LIGHT POLE WITH FIXTURES TO BE RELOCATED. OLD BASE TO BE EXCAVATED AND REMOVED TO MINIMUM DEPTH OF TWO (2) FEET BELOW FINISH GRADE.



**PAVILION CONTRACTOR NOTICE:**  
 CONC TRUCK WASHOUT AREA TO BE IN THIS AREA CONTRACTOR TO ESTABLISH AREA IN SUCH A MANNER THAT IT CAN BE CLEANED UP AND RESTORED TO PAVED PARKING AT END OF PROJECT.

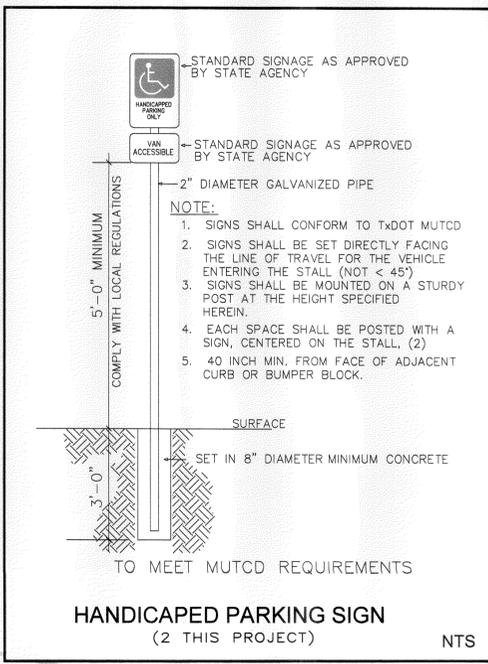
LOT 1 of TEJAS CENTER SUBDIVISION

RESERVED for FUTURE DEVELOPMENT

6" PVC SS LINE, CLEAN-OUT & MANHOLE BY OWNER

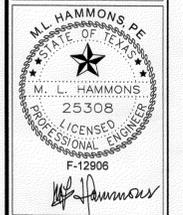
EXISTING KOOL SMILES 3111 SOUTH TEXAS AVENUE

**NOTICE:**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINMENT AND PROPER DISPOSAL OF ALL LIQUID AND SOLID WASTE ASSOCIATED WITH THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE OCCURRENCE OF WIND BLOWN LITTER FROM THIS CONSTRUCTION PROJECT SITE.  
 THE CONTRACTOR SHALL PROVIDE APPROPRIATE STORMWATER FLOW PROTECTION TO PREVENT INJECTION OF SILT AND DEBRIS INTO UG STORMWATER SYSTEM.



NTS

**M.L. HAMMONS, PE**  
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 Fax 979.686.3651



RELEASE FOR: CONSTRUCTION

TEJAS CENTER COMMUNITY PAVILION  
 BEHIND 3109 SOUTH TEXAS AVENUE BRYAN, TEXAS

REVISION	
DATE	
<b>RECEIVED</b>	
JAN 17 2012	
Development & Engineering Services	
DRAWN	
CHECKED H	
DATE 1/15/12	
PROJECT NUMBER	

**SP1.1**

# COMMUNITY PAVILION SITE PLAN