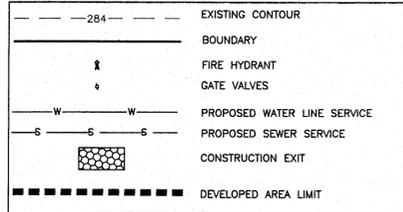


LEGEND



- NOTES:**
1. THE SIGN SHALL BE 12" WIDE BY 18" IN HEIGHT AND BE MOUNTED IN THE LOCATION SHOWN.
 2. SIGN SHALL BE PAINTED ON WHITE BACKGROUND WITH SYMBOLS, LETTERS, AND BORDER IN RED.
 3. SIGN SHALL COMPLY WITH THE CITY OF BRYAN FIRE SERVICE STANDARDS.

FIRE LANE SIGN DETAIL

PARKING ANALYSIS:

PROPOSED IMPROVEMENTS (LOT 1B):

39 MULTI-FAMILY UNITS, 96 BEDROOMS

NEW REQUIRED PARKING (LOT 1B):

96...1 SPACE PER BEDROOM

NEW PROVIDED PARKING:

114...TOTAL SPACES PROVIDED

54...STANDARD SPACES

30...GARAGE SPACES

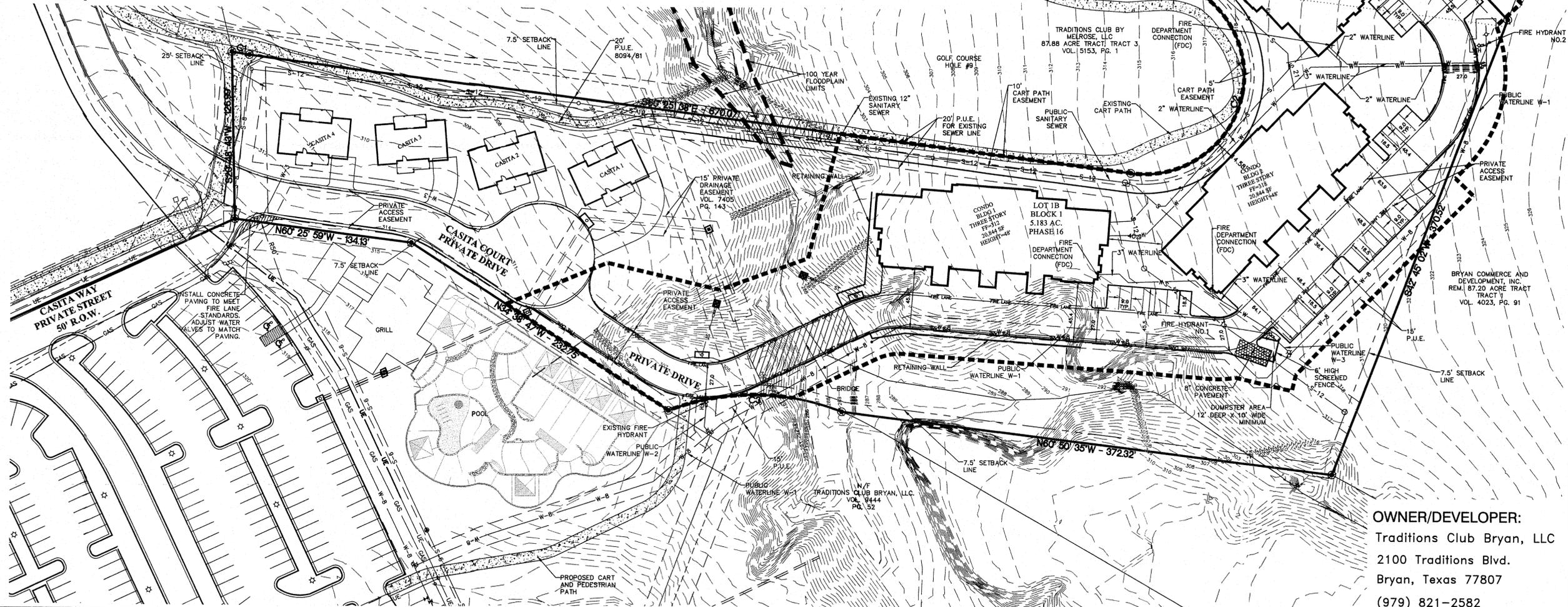
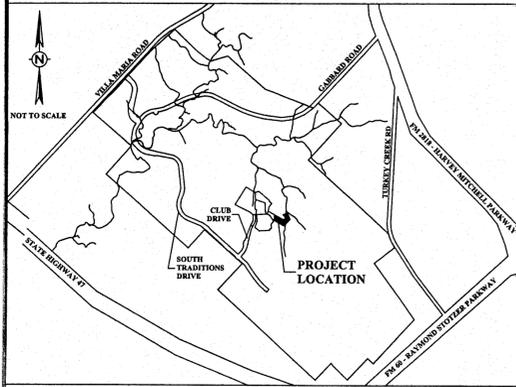
30...SPACES IN FRONT OF GARAGE

UTILITY DEMANDS:

WATER DEMAND	SANITARY SEWER DEMAND
MINIMUM	MINIMUM
AVERAGE	AVERAGE
MAXIMUM (PEAK)	MAXIMUM (PEAK)
2" WATER METER	6" SANITARY SEWER LINE

- NOTES:**
1. ZONING OF THIS PROPERTY IS PUD-PLANNED DEVELOPMENT DISTRICT. THE USE IS MULTI-FAMILY.
 2. MINIMUM BUILDING SETBACKS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF BRYAN CODE OF ORDINANCES.
 3. UTILITY SERVICES TO BE PROVIDED AS SHOWN. THERE ARE PROPOSED PRIVATE SANITARY SEWER AND WATERLINE IMPROVEMENTS AND PUBLIC WATERLINE AND SANITARY SEWER IMPROVEMENTS FOR THIS PROJECT.
 4. ALL PUBLIC SITE AND UTILITY WORK IS TO BE DONE IN CONFORMANCE WITH THE BRYAN/ COLLEGE STATION 2010 STANDARD SPECIFICATIONS FOR WATER, SEWER, STREETS, SIDEWALKS, SWP, & DRAINAGE.
 5. NO PUBLIC DRAINAGE STRUCTURES ARE PROPOSED FOR THIS SITE. ALL DRAINAGE STRUCTURES SHALL BE PRIVATELY OWNED AND MAINTAINED.
 6. CONTRACTOR IS REQUIRED TO PROVIDE CONTAINMENT FOR WASTE, PRIOR TO, AND DURING, DEMOLITION AND CONSTRUCTION. SOLID WASTE ROLL-OFF BOXES/METAL DUMPSTERS SHALL BE SUPPLIED BY CITY OR CITY PERMITTED CONTRACTOR(S) ONLY.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINMENT AND PROPER DISPOSAL OF ALL LIQUID AND SOLID WASTE ASSOCIATED WITH THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE OCCURRENCE OF WIND BLOWN LITTER FROM THE PROJECT SITE.
 8. DEMOLITION/CONSTRUCTION WASTE-SITE REQUIRED TO PROVIDE CONTAINMENT FOR WASTE, PRIOR TO, AND DURING, DEMOLITION/CONSTRUCTION. SOLID WASTE ROLL-OFF BOXES/METAL DUMPSTERS SHALL BE SUPPLIED BY CITY OR CITY PERMITTED CONTRACTOR(S) ONLY.
 9. NORMAL DOMESTIC WASTEWATER IS ANTICIPATED TO BE DISCHARGED FROM THIS DEVELOPMENT.
 10. A PORTION OF THIS SUBJECT PROPERTY DOES LIE WITHIN A DESIGNATED 100 YEAR FLOOD PLAN ACCORDING TO THE FLOOD MAPS COMMUNITY PANEL NO. 48010143-C, EFFECTIVE DATE: 07-02-1992 AS REVISED TO REFLECT LOMR EFFECTIVE DECEMBER 13, 2007.
 11. THE BEARING SYSTEM SHOWN HEREON IS BASED ON GRID NORTH AS ESTABLISHED FROM CITY OF BRYAN Q.P.S. MONUMENTS.
 12. REFER TO LANDSCAPE PLANS FOR LANDSCAPE CALCULATIONS AND DESIGN.
 13. REFER TO GRADING AND DRAINAGE PLAN SHEETS FOR EXISTING TOPOGRAPHY, GRADING AND DRAINAGE DESIGN.
 14. ELECTRICAL CONDUIT FOR PARKING LOT LIGHTING WILL BE SHOWN ON THE ELECTRICAL SITE PLAN.
 15. ON-SITE SOLID WASTE WILL BE SERVICED BY CITY OF BRYAN DUMPSTERS.
 16. ALL PARKING SPACES ARE 9' IN WIDTH UNLESS NOTED OTHERWISE. THE DEPTH OF THE SPACES IS 18'. THE PARKING LOT DRIVE AISLES ARE 24' IN WIDTH UNLESS NOTED OTHERWISE. THE MINIMUM CURB HEIGHT IS 4" FOR THE DRIVE AISLES AND PARKING SPACES.
 17. PARKING LOT STRIPING OTHER THAN FIRE LANE STRIPING SHALL BE WHITE. ALL STRIPING MATERIALS AND CONSTRUCTION SHALL CONFORM TO TEXAS DEPARTMENT OF TRANSPORTATION (TxDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS, AND BRIDGES, ITEM 686, TYPE 2 MARKING MATERIALS.
 18. IRRIGATION SYSTEM MUST BE PROTECTED BY EITHER A PRESSURE VACUUM BREAKER OR REDUCED PRESSURE PRINCIPLE BACK FLOW DEVICE AND INSTALLED AS PER CITY ORDINANCE.
 19. ALL BACKFLOW DEVICES MUST BE INSTALLED AND TESTED UPON INSTALLATION AS PER CITY ORDINANCE.
 20. TOTAL LOT AREA IS 5.183 ACRES. THE PROPOSED DEVELOPED AREA IS 3.837 ACRES.
 21. ALL PAVEMENT FOR DRIVEWAYS AND PARKING SPACES WILL BE REINFORCED CONCRETE PAVEMENT.

VICINITY MAP



Curve Table

CURVE #	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIRECTION
C1	13.37'	175.00'	004°22'37"	6.69'	13.37'	S58°14'41"E
C2	214.35'	75.00'	163°44'55"	525.29'	148.49'	N38°01'02"E
C3	133.74'	176.00'	043°32'24"	70.29'	130.55'	N87°44'28"W

OWNER/DEVELOPER:
 Traditions Club Bryan, LLC
 2100 Traditions Blvd.
 Bryan, Texas 77807
 (979) 821-2582

MARK	REVISION	BY	DATE

Schultz Engineering, LLC
 2730 Longmire, Suite A
 College Station, Texas 77845
 979.764.3900

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JOSEPH P. SCHULTZ, P.E., LICENSE NO. 65889 ON APRIL 24, 2012.

RELEASED FOR CONSTRUCTION

SURVEYED	DESIGNED	DRAWN	APPROVED	JOB NO.	DATE
KERR	JPS	RCF	JPS	11-184	APRIL 2012



HIDDEN BRIDGE CONDOS
TRADITIONS, PHASE 16
BLOCK 1, LOT 1B
 BRYAN, TX

SITE PLAN

RECEIVED
 APR 25 2012
 Development & Engineering Services

SCALE	VERTICAL: N/A	HORIZONTAL: 1"=40'	SHEET
	PLOTTING SCALE: 1:1	FILE NAME: 11-184	C1

K