

For Interim Review Only
 These documents have been released on May 13, 2013 for the purpose of review and comment under the authority of: J. Dale Browne, Jr., P.E., P.E. No. 81890. They are not to be used for construction purposes.

ISSUED FOR REVIEW AND COMMENT.

DATE: FEBRUARY, 2012
 DRAWN BY: CLH
 CHECKED BY: CLH
 DESIGNED BY: JDB

REVISIONS

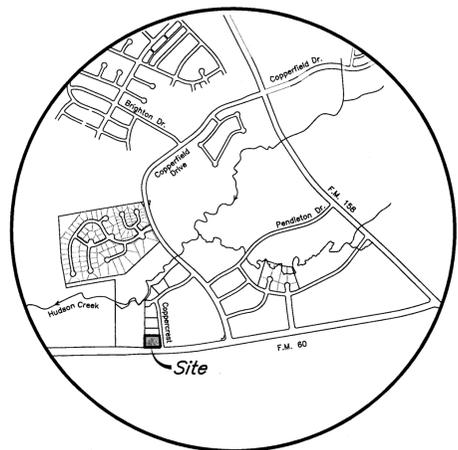
McCLURE & BROWNE ENGINEERING/SURVEYING, INC.
 Engineer Reg. No. F-438 Survey Reg. No. 101035-000
 1008 Woodcrest Dr., Suite 103
 College Station, TX 77845 (979) 693-3638
 1314 10th Street, Suite 210
 Huntsville, TX 77320 (936) 294-9749



Site Plan
 Citizens Bank
 Lot 1, Block 1, Park Hudson Phase 7
 Volume 9134, Page 124, 1.458 Acres
 Citizens Bank, Phase 2

SHEET NO.

C1.1



Vicinity Map
 N.T.S.

GENERAL CONSTRUCTION NOTES:

- It shall be the responsibility of the Contractor to verify the exact location of all existing underground utilities. Furthermore, the Contractor shall contact all utility company representatives a minimum of 48 hours in advance of any excavation.
- Location of existing buried utilities, where shown, is approximated only. Other utilities may be present that are not shown on the Construction Drawings. The Contractor shall be responsible for locating and protecting all buried utilities.
- Unless otherwise indicated, all construction shall be in accordance with the current City of Bryan Standard Details, Specifications, and B/CS Design Guidelines for Water, Sewer, Drainage and Street Construction. All inspection of public infrastructure shall be coordinated with the staff of the City Engineer of Bryan. It is the intent of these plans to comply with all City of Bryan Guidelines, Details, and Specifications.
- In lieu of using the construction materials indicated in these plans, the Contractor shall obtain written approval from the Owner for any substitution.
- The Contractor is responsible for all construction safety. Construction Drawings do not include necessary components for construction safety.
- It is the responsibility of the contractor to comply with all State and Federal Regulations regarding construction activities near energized overhead or underground power lines. Additionally, the contractor shall coordinate all proposed work and procedures with Bryan Texas Utilities (BTU).
- Trenches may be left open overnight if properly covered or barricaded to prevent pedestrian and vehicular access.
- Traffic Signs, roadway signs, and other traffic control devices are not included in these plans.
- The Contractor shall be responsible for all storm water pollution prevention associated with this project. The Contractor shall use all means necessary to prevent the transportation of sediment from the project site. The Contractor shall comply with TCEQ - TPDES storm water requirements.
- All soil not used as part of this project shall become the property of the Contractor. The Contractor shall be responsible for the disposal of the material off-site.
- All soil disturbed by construction that is not landscaped shall be hydromulch seeded as soon as grading is complete. All slopes equal to or greater than 4:1 that will not be landscaped (i.e. covered with sod or plants) shall be hydromulch seeded and covered with erosion control blanket. The erosion control blanket shall be S75 Single Net Straw Blanket as manufactured by North American Green.
- Contractor shall provide a proposed expansion/contraction joint layout for the Engineer's review and approval prior to constructing driveways and parking lot areas.
- For quantities, see the following sheet:
 A. See Sheet C1.2 for demolition quantities.
 B. See Sheet C2.1 for erosion control quantities.
 C. See Sheet C3.1 for paving/sidewalk quantities.
 D. See Sheet C4.1 for utility improvements quantities.

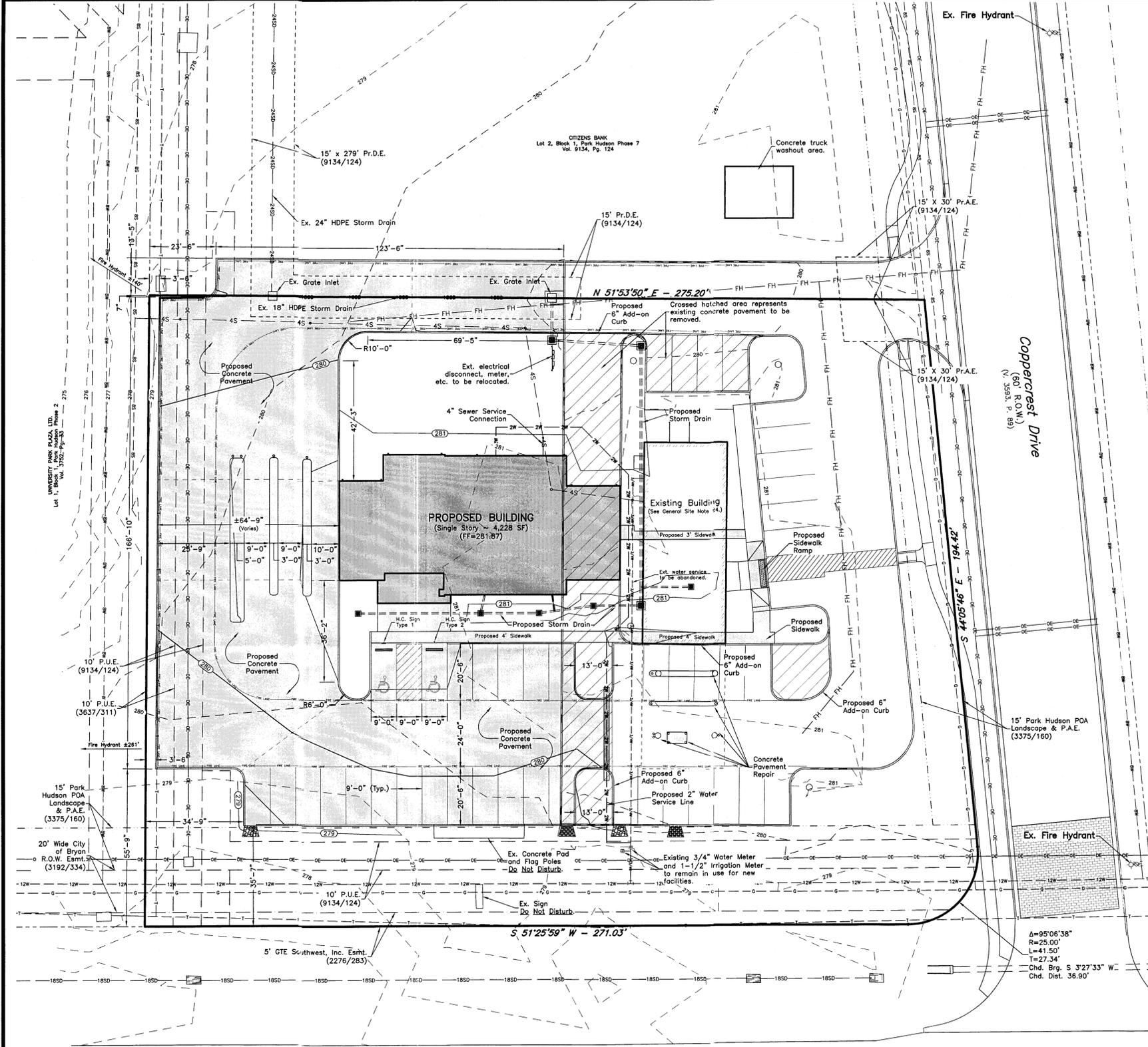
GENERAL SITE NOTES:

- This property is currently zoned Planned Development - Mixed Use (PD-M).
- Owner & Applicant:
 Citizens Bank
 P.O. Box 1700
 Kilgore, TX 75663-1700
 (903) 988-3456
- Proposed Use: Commercial
 Gross Square Footage: 4,228 SF
 BUILDING IS NOT SPRINKLED
- Parking Analysis:
 Parking Spaces Required = 4,228 SF / (250 SF per 1 Parking Space) = 17 Spaces
 Parking Spaces Provided = 45 Spaces (includes 2 handicapped accessible spaces)
- WATER AND SANITARY SEWER DEMANDS:
 Water Demands: Max = 10 GPM Avg. = 3 GPM Min. = 0 GPM
 Irrigation: Max = 20 GPM
 Sewer Demands: 400 GPD (Max.)
- According to the Flood Insurance Rate Maps for Brazos County, Texas and Incorporated Areas, Map Number 48041C02201, revised May 15, 2012 this property is not located within a FEMA 100-year flood hazard area.
- Contour information has been prepared from an actual on-the-ground survey.
- Electric service to be provided by Bryan Texas Utilities.
- In accordance with the Hudson Creek Drainage Analysis dated July 1999, no detention is required for areas between Carriers Creek and F.M. 158 as long as the proposed site does not exceed 80% impervious cover. This development is only 36% impervious. Therefore, stormwater detention is not required for this site.
- See Site Civil Engineering Drawings for additional utility, grading, and layout information.
- All Fire Lanes shall be designated by the curbs. Fire lanes to be constructed using the "Fire Apparatus Turning Radius Template" and have a fire lane sign at the entrance. The curbs shall be painted red with four inch (4") white lettering stating "No Parking Fire Lane Tow Away Zone". Warning may not be spaced more than fifteen feet (15') apart.
- Irrigation system to be installed by others. Refer to the Landscaping Plan for additional information regarding the irrigation system. The irrigation system must be approved by the City and installed by a certified installer prior to issue of Certificate of Occupancy.
- No combustibles will be allowed on site until all-weather roads and fire hydrants have been accepted by the City.
- The Contractor shall install all TAS/ADA related items in accordance with the current TAS/ADA requirements.
- Demolition/Construction Waste - The Contractor shall be responsible for providing containment for waste prior to and during demolition/construction. Solid waste roll off boxes and/or metal dumpsters shall be supplied by City of City Permitted contractor only. The Contractor shall use all means necessary to prevent the occurrence of wind blown litter from the project site.
- Type of waste streams generated from this site: Normal Domestic Wastewater.
- This bank building will utilize a roll-out container for solid waste services.
- See Landscaping Plans for proposed landscaping.
- All dimensions are marked from back of curb, unless noted otherwise.
- All curb radius from back of curb are 4', unless noted otherwise.
- All Concrete Pavement shall be 6" thick with #4 at 18" C.C.E.W. All pavement shall be placed over 6" stabilized subgrade. Refer to Geotechnical Report prepared by CSC Engineering & Environmental Consultants, Inc., CSC Project Number 9066-34.
- All concrete shall be 4,000 p.s.i. for pavement and 3,000 p.s.i. for sidewalks.
- All reinforcement shall be Grade 60, unless noted otherwise.
- The existing building and facilities shall remain in service until new building can be occupied and placed into service. The existing building and facilities to be decommissioned as per the Contract Documents.

Legend

— 85 — 85 —	Existing Sewer Line/Service w/ size	P.A.E. —	Public Access Easement
— 8W — 8W —	Existing Water Line w/ size	Pr.A.E. —	Private Access Easement
— 8S — 8S —	Existing Storm Drain w/ size	P.D.E. —	Public Drainage Easement
— 8G — 8G —	Existing Gas Line	Pr.D.E. —	Private Drainage Easement
— 8E — 8E —	Overhead Electrical Line	P.U.E. —	Public Utility Easement
— 8U — 8U —	Existing Underground Electric Line	La.E. —	Landscape Easement
— 2W — 2W —	Proposed Water Service w/size		
— FH — FH —	Proposed Fire Hose Lay		
— — — —	Boundary Line		
— — — —	Existing Easement Line		
— — — —	Property Line		
— — — —	Proposed Easement Line		

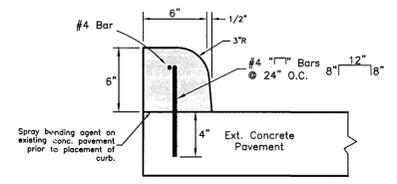
— 280 —	Proposed Contour Line (1' Interval)
— 283 —	Existing Contour Line (1' Interval)
⊙	Existing Sewer Manhole
⊙	Existing Fire Hydrant
⊙	Existing Gate Valve
⊙	Existing Sprinkler Head
⊙	Existing Sign
⊙	Existing Underground Electric Box
⊙	Existing Telephone Box
⊙	Existing Water Meter(s)
→	Proposed Traffic Flow Arrow



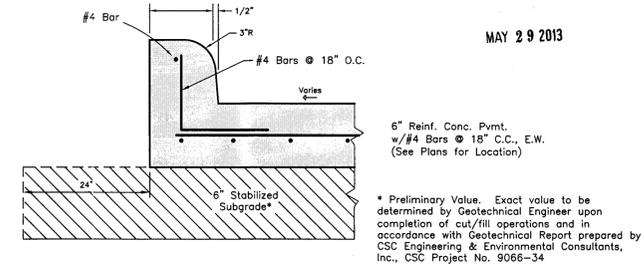
University Drive
 (F.M. 60 ~ R.O.W. Varies)
 (V. 405, P. 623)

SITE PLAN

SCALE: Hor: 1" = 20'
 Vert: 1" = 1'



TYPICAL 6" ADD-ON CURB
 SCALE: N.T.S.



TYPICAL 6" CURB & PAVEMENT DETAIL
 SCALE: N.T.S.

* Preliminary Value. Exact value to be determined by Geotechnical Engineer upon completion of cut/fill operations and in accordance with Geotechnical Report prepared by CSC Engineering & Environmental Consultants, Inc., CSC Project No. 9066-34.