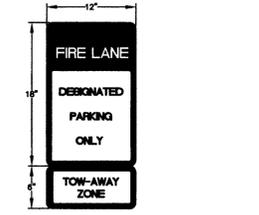
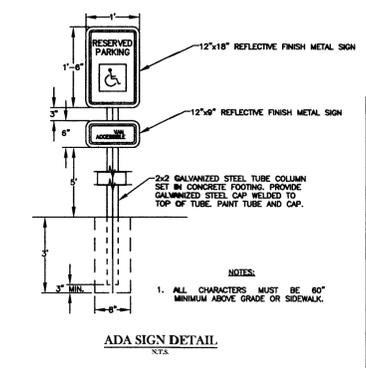
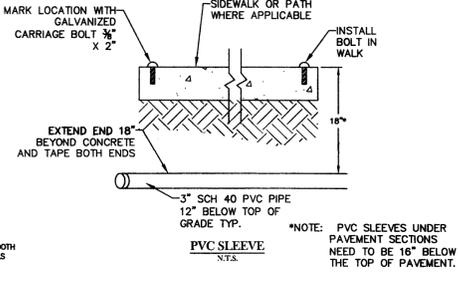
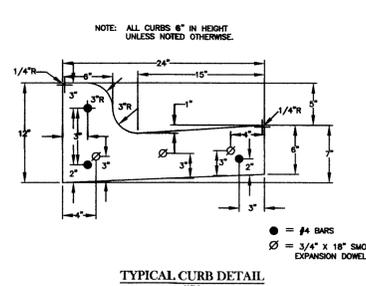
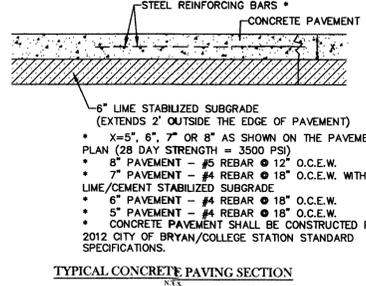
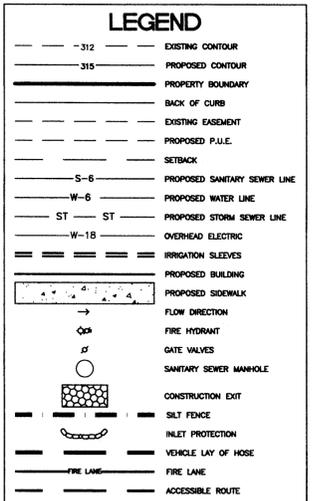
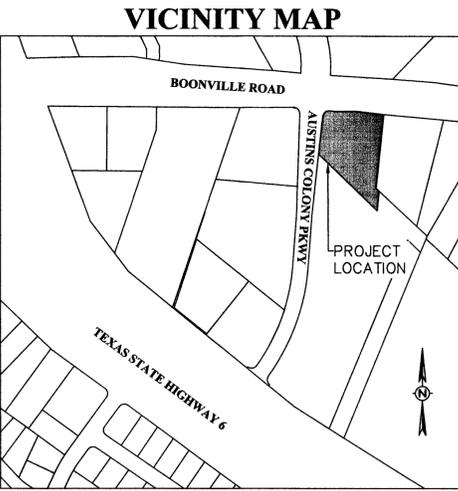


- SITE NOTES:**
- MINIMUM BUILDING SETBACKS SHALL CONFORM TO THE REQUIREMENTS OF CITY OF BRYAN LAND AND SITE DEVELOPMENT ORDINANCE.
 - UTILITY SERVICES TO BE PROVIDED AS SHOWN. THERE ARE PROPOSED PRIVATE SANITARY SEWER AND WATER LINE IMPROVEMENTS. THERE ARE NO PUBLIC WATER LINE AND SANITARY SEWER IMPROVEMENTS FOR THIS PROJECT.
 - ALL PUBLIC SITE AND UTILITY WORK IS TO BE DONE IN CONFORMANCE WITH THE BRYAN/ COLLEGE STATION 2012 STANDARD SPECIFICATIONS FOR WATER, SEWER, STREETS, SIDEWALKS, SDRPP, & DRAINAGE.
 - NO PUBLIC DRAINAGE STRUCTURES ARE PROPOSED FOR THIS SITE. ALL DRAINAGE STRUCTURES SHALL BE PRIVATELY OWNED AND MAINTAINED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINMENT AND PROPER DISPOSAL OF ALL LIQUID AND SOLID WASTE ASSOCIATED WITH THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE OCCURRENCE OF WIND BLOWN LITTER FROM THE PROJECT SITE.
 - DEMOLITION/CONSTRUCTION WASTE-SITE REQUIRED TO PROVIDE CONTAINMENT FOR WASTE, PRIOR TO, AND DURING, DEMOLITION/CONSTRUCTION. SOLID WASTE ROLL-OFF BOXES/METAL DUMPSTERS SHALL BE SUPPLIED BY CITY OR CITY PERMITTED CONTRACTOR.
 - NORMAL DOMESTIC WASTEWATER IS ANTICIPATED TO BE DISCHARGED FROM THIS DEVELOPMENT.
 - THIS TRACT DOES NOT LIE WITHIN A DESIGNATED 100 YEAR FLOOD PLAN ACCORDING TO THE F.I.R.M. MAPS, COMMUNITY PANEL NOS. 48041C0215F, EFFECTIVE DATE: APRIL 2, 2014
 - REFER TO LANDSCAPE PLANS FOR LANDSCAPE CALCULATIONS AND DESIGN.
 - REFER TO GRADING AND DRAINAGE PLAN SHEETS FOR EXISTING TOPOGRAPHY, GRADING AND DRAINAGE DESIGN.
 - ELECTRICAL CONDUIT FOR PARKING LOT LIGHTING WILL BE SHOWN ON THE ELECTRICAL SITE PLAN.
 - ON-SITE SOLID WASTE WILL BE SERVICED BY A CITY OF BRYAN DUMPSTER.
 - ALL PARKING SPACES ARE 9' IN WIDTH UNLESS NOTED OTHERWISE. THE DEPTH OF THE SPACES IS 18' UNLESS NOTED OTHERWISE. THE PARKING LOT DRIVE AISLES ARE 25' IN WIDTH UNLESS NOTED OTHERWISE. THE MINIMUM CURB HEIGHT IS 6" FOR THE DRIVE AISLES AND PARKING SPACES.
 - PARKING LOT STRIPING OTHER THAN FIRE LANE STRIPING SHALL BE WHITE. ALL STRIPING MATERIALS AND CONSTRUCTION SHALL CONFORM TO TEXAS DEPARTMENT OF TRANSPORTATION (TDDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS, AND BRIDGES, ITEM 666, TYPE 2 MARKING MATERIALS.
 - IRRIGATION SYSTEM MUST BE PROTECTED BY EITHER A PRESSURE VACUUM BREAKER OR REDUCED PRESSURE PRINCIPLE BACK FLOW DEVICE AND INSTALLED AS PER CITY ORDINANCE.
 - ALL BACKFLOW DEVICES MUST BE INSTALLED AND TESTED UPON INSTALLATION AS PER CITY ORDINANCE.
 - TOTAL LOT AREA IS 1.57 ACRES. THE PROPOSED DEVELOPED AREA IS 1.48 ACRES.
 - 6" CONCRETE PAVEMENT TO BE PROVIDED FOR DUMPSTER LOCATIONS PER CITY OF BRYAN SPECIFICATIONS. 6" CONCRETE PAVEMENT FOR DRIVE AISLES AND PARKING. SEE LAYOUT PLAN FOR DETAILS. DUMPSTER CONTAINMENT AREAS SHALL USE 8" CONCRETE, REINFORCED WITH #6 BARS AT 12" O.C.W. AND THE PAD SHALL EXTEND AN ADDITIONAL 10' IN FRONT OF CONTAINMENT AREA.
 - THE MINIMUM REQUIRED FIRE FLOW FOR A COMMERCIAL BUILDING IBC TYPE III OF 7,400 SF IS 1,750 GALLONS PER MINUTE. THE BUILDING IS FULLY SPRINKLED WHICH DECREASES THE REQUIRED FIRE FLOW BY 50% (1,200 GPM MIN.). ONE FIRE HYDRANT IS REQUIRED. THE EXISTING FIRE HYDRANTS WILL PROVIDE COVERAGE.
 - ALL CONCRETE PAVEMENT, SIDEWALKS AND HARDSCAPE AREAS SHALL BE FINISHED PER SPECIFICATION ON LANDSCAPE PLANS.
 - ALL AREAS DISTURBED DURING CONSTRUCTION WILL BE COVERED WITH LIVE VEGETATION PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - ALL SITE SIGNAGE WILL BE PERMITTED SEPARATELY.
 - DUMPSTER GATE SHALL OPEN 180 DEGREES. A 6" CLEARANCE FOR CURB SHALL BE PROVIDED. THE DUMPSTER ENCLOSURE SHALL BE PER ARCHITECTURAL PLANS W/ 12' X 12' CLEAR INTERIOR OPENING MIN. 6' TALL.
 - STORMWATER DETENTION WILL BE PROVIDED IN THE EXISTING DETENTION PONDS LOCATED IN THE BOONVILLE TOWN CENTER COMMON AREA AND PRIVATE DETENTION POND.
 - THIS PROPERTY LIES IN THE FM 158 CORRIDOR OVERLAY AND IS ZONED RETAIL DISTRICT (R-2).
 - FIRE SPRINKLER SYSTEM - POTABLE WATER SUPPLY MUST BE PROTECTED BY TESTABLE DOUBLE CHECK VALVE ASSEMBLY, AND INSTALL AS PER CITY ORDINANCE.
 - POTABLE WATER PROTECTION - ALL DEVICES, APPURTENANCES, APPLIANCES AND APPARATUS INTENDED TO SERVE SOME SPECIAL FUNCTION AND THAT CONNECTS TO THE WATER SUPPLY SYSTEM, SHALL BE PROVIDED WITH PROTECTION AGAINST BACKFLOW AND CONTAMINATION OF THE WATER SUPPLY SYSTEM.



- NOTES:**
- SIGN SHALL COMPLY WITH THE C&CS FIRE SERVICE STANDARDS.
 - ALL CURBS AND CURB ENDS SHALL BE PAINTED RED WITH FOUR INCH (4") WHITE LETTERING STATING "FIRE LANE - NO PARKING - TOW AWAY ZONE". SIGN SPACING SHALL BE 12 FEET UNLESS OTHERWISE NOTED.
 - TOW-AWAY ZONE SIGN SHALL BE 12" WIDE X 6" TALL PER TMDOT 87-2010P SIGNAGE.



UTILITY DEMAND		PARKING ANALYSIS	
WATER DEMAND PER LEASE SPACE		REQUIRED PARKING:	
MINIMUM	0 GPM	7,400 SF OF MEDICAL OFFICE	1 SPACES PER 200 SF
AVERAGE	10 GPM	37 SPACES REQUIRED	
MAXIMUM (PEAK)	38 GPM	9' WIDTH, 18' LENGTH TYP.	
1" DOMESTIC WATER METER		PROPOSED PARKING:	
		44 SPACES PARKING	
		32 SPACES HANDICAP PARKING	
		47 SPACES PROVIDED TOTAL	

ST. JOSEPH CLINIC
BOONVILLE TOWN CENTER
LOT 1, BLOCK 2 - 157 ACRES
8534/33

JOHN AUSTIN SURVEY, A-2
 BRYAN, BRAZOS COUNTY, TEXAS

SCALE: 1"=20' JULY 2014

OWNER/DEVELOPER: FIVE AGS INVESTMENTS LLC
 2800 S TEXAS AVE
 STE. 401
 BRYAN, TEXAS 77802

ENGINEER: SCHULTZ ENGINEERING, LLC
 PO BOX 11995
 COLLEGE STATION, TX 77842
 (979)764-3900

JUL 30 2014

Curve Table

CURVE #	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIRECTION
C1	38.60'	25.00'	088°30'08"	24.30'	34.82'	N65°32'53"E

MARK	REVISION	BY	DATE

Schultz Engineering, LLC
 2730 Longmire, Suite A
 College Station, Texas 77845
 979.764.3900

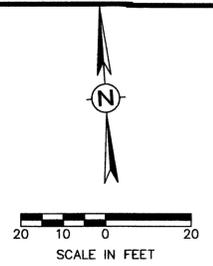
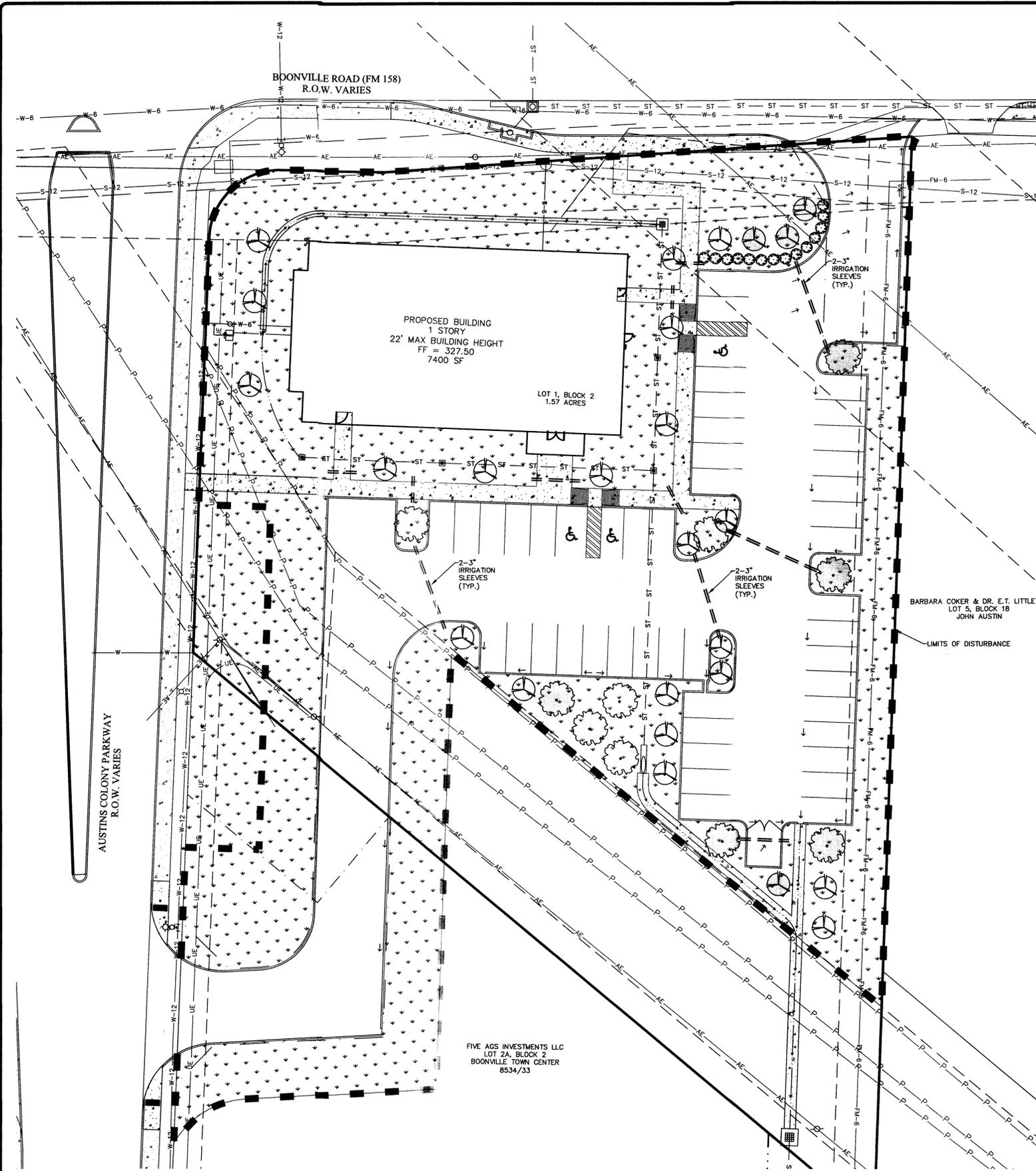
SURVEYED	DESIGNED	DRAWN	APPROVED	JOB NO.	DATE
CEC	DLD	DLD	JPS	14-344	JULY 2014

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW ONLY UNDER THE AUTHORITY OF DEVEN L. DOVEN P.E., LICENSE NO. 109835, ON JULY 21, 2014. IT IS NOT TO BE USED FOR BIDDING OR CONSTRUCTION PURPOSES.

ST. JOSEPH CLINIC
BOONVILLE TOWN CENTER
LOT 1, BLOCK 2 - BRYAN, TX

SITE PLAN

SCALE		SHEET C1
VERTICAL	N/A	
HORIZONTAL	1"=20'	
PLOTTING SCALE:	1:1	
FILE NAME:	14-344	



PLANTING LEGEND

LANDSCAPE POINTS					
SYMBOL	SIZE	NAME & TYPE	QUANTITY	POINT VALUE	TOTAL POINTS
	>3" CAL	LIVE OAK (Quercus virginiana) CANOPY	10	350 SF	3,500
	3" CAL	CREPE MYRTLE (Lagerstroemia indica) NON-CANOPY	25	225 SF	5,625
	5 GAL.	WAXLEAF LIGUSTRUM (Igustrum japonicum) SHURB	14	20 SF	280
		GRASS	32,524	10 SF/100 SF OF TOTAL MAX. = 1,655	1,655
TOTAL:					11,060

LANDSCAPE CALCULATION

DEVELOPED AREA 64,905 SF
 17% IN FM-158 OVERLAY = 11,034 SF REQUIRED LANDSCAPING

EXISTING CANOPY TREES:
 NONE

TREE LANDSCAPING REQUIREMENTS:
 MIN. 50% OF 11,034 SF = 5,517 SF MIN. AS TREES
 MIN. 50% OF 5,517 SF = 2,759 SF MIN. AS CANOPY TREES

TREE SIZE REQUIREMENTS:
 FOR CANOPY TREES -
 6' MIN. HEIGHT
 1.5" - 3" TRUNK DIA., MEASURED 12" FROM BASE (200 SF EA)
 > 3" TRUNK DIA., MEASURED 12" FROM BASE (350 SF EA)

FOR NON-CANOPY TREES -
 6' MIN. HEIGHT
 1.5" - 3" TRUNK DIA., MEASURED 12" FROM BASE (150 SF EA)
 > 3" TRUNK DIA., MEASURED 12" FROM BASE (225 SF EA)

FOR SHRUBS -
 < 2 GAL. (5 SF EA)
 2 - 15 GAL. (10 SF EA)
 > 15 GAL. (15 SF EA)

GRASS/GROUND COVER REQUIREMENTS:
 COMPLETE COVERAGE BY GRASS, LIVE GROUND COVER, AND/OR NONVEGETATIVE GROUND COVER APPROVED BY THE CITY IS REQUIRED IN AREAS NOT COVERED BY TREES OR SHRUBS. 10 SF WILL BE GRANTED FOR EVERY 100 SF OF GRASS OR LIVE GROUND COVER, NOT EXCEEDING 15% OF THE OVERALL LANDSCAPE REQUIREMENT (1,461 SF).

PROPOSED LANDSCAPING:
 10 CANOPY TREES (>3" DIAMETER)
 LIVE OAK (350 SF EACH)
 3,500 SF

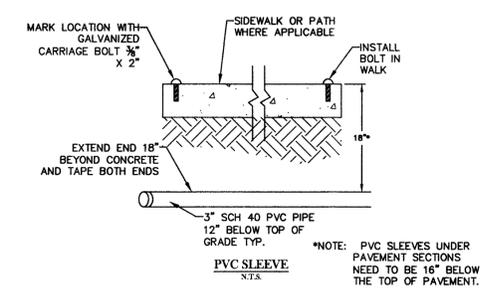
25 NON-CANOPY TREES (> 3" DIAMETER)
 CREPE MYRTLES (225 SF EACH)
 5,625 SF

14 SHRUBS (5 GALLON MIN.)
 WAXLEAF LIGUSTRUM (20 SF EACH)
 280 SF

GRASS AREA (MAX. 15% OF 11,034 SF)
 1,655 SF

TOTAL LANDSCAPE AREA
 =11,060 SF PROVIDED

NOTES:
 1. 100% COVERAGE OF GROUND COVER OR GRASS IS REQUIRED IN ALL AREAS.
 2. GROUND COVER SHALL BE HYDROSEDED.
 3. IRRIGATION PLAN TO BE SUBMITTED SEPARATELY.



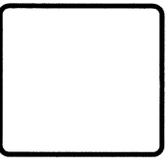
JUL 30 2014

MARK	REVISION	BY	DATE

Schultz Engineering, LLC
 2730 Longmire, Suite A
 College Station, Texas 77845
 979.764.3900

TBPE NO. 12327

SURVEYED	DESIGNED	DRAWN	APPROVED	JOB NO.	DATE
CEC	DLD	DLD	JPS	14-344	JULY 2014



ST. JOSEPH CLINIC
 BOONVILLE TOWN CENTER
 LOT 1, BLOCK 2 - BRYAN, TX

LANDSCAPE PLAN

SCALE	
VERTICAL	N/A
HORIZONTAL	1"=20'
PLOTTING SCALE:	1:1
FILE NAME:	14-344

SHEET
L1