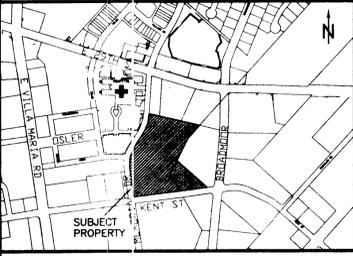


REPLAT

SCALE: 1" = 40'



VICINITY MAP NOT TO SCALE

PROFESSIONAL COMPLEX LOT 1R, BLOCK G PLAT 508/563

BUSINESS COMPLEX SUBDIVISION LOT 1, BLOCK 1 PLAT 824/537

BUSINESS COMPLEX SUBDIVISION LOT 2, BLOCK 1 PLAT 824/537

BRYAN MEDICAL BUILDING SUBDIVISION LOT 1, BLOCK 1 PLAT 8345/87

10' UTILITY EASEMENT

10' SANITARY SEWER EASEMENT 265/290

10' SANITARY SEWER EASEMENT 265/295

1/2 INCH IRON ROD FOUND

5/8 INCH IRON ROD FOUND

20' PUE 8345/87

30' DRAINAGE EASEMENT 8345/87

D=28'05"23" R=418.03' ARC=204.94' T=104.57' CHORD=202.90' BRG=N 18'06"10" E

10' PUBLIC UTILITY EASEMENT 6557/123

LOT 1R, BLOCK 1 3.95 ACRES

MEMORIAL DRIVE 50' P.O.W. 33.53' ASPHALT PAVEMENT N 32'09"13" E 187'22"

PLACE 28, PHASE 2 LOT 1, BLOCK 1 PLAT 451/861

D=40'35"56" R=245.34' ARC=173.84' T=90.75' CHORD=170.23' BRG=N 11'50"54" E

15' PUBLIC UTILITY EASEMENT

LOT 2, BLOCK 1 4.29 ACRES

KENT STREET 60' R.O.W. 32' ASPHALT PAVEMENT

- GENERAL NOTES: 1. BEARING SYSTEM SHOWN HEREON IS BASED ON GRID NORTH AS ESTABLISHED FROM GPS OBSERVATION. 2. SUBJECT PROPERTY DOES NOT LIE WITHIN A DESIGNATED FLOOD PLAIN AREA ACCORDING TO THE F.I.R.M. MAPS, COMMUNITY PANEL NO. 48041C0215 E, DATED MAY 16, 2012. 3. BUILDING SETBACK LINES TO BE IN ACCORDANCE WITH CITY OF BRYAN ORDINANCE. 4. CONTOURS SHOWN HEREON ARE DIGITAL OVERLAY. 5. WATER AND SEWER LINES SHOWN HEREON ARE PER BRYAN MAPS AND ABOVE GROUND INDICATIONS. 6. 1/2 INCH IRON RODS SHALL BE SET AT ALL UNINDICATED CORNERS AFTER FINAL DEVELOPMENT. 7. DISTANCES SHOWN ON CURVES ARE CHORD LENGTHS.

CERTIFICATE OF OWNERSHIP AND DEDICATION

STATE OF TEXAS COUNTY OF BRAZOS John C. Culpepper III and Moore-Sherwood General Partnership, owners and developers of the land shown on this plat, being the tract of land as conveyed to them in the Official Records of Brazos County, in Volume 1190, Page 486, Volume 1041, Page 51 and Volume 1041, Page 54 and whose names are subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places shown hereon for the purposes identified.

John C. Culpepper, III Moore-Sherwood General Partnership By: Edge Texas 1997 Trust By: W. Tyler Moore, Sole Trustee

STATE OF TEXAS COUNTY OF BRAZOS Before me, the undersigned authority, on this day personally appeared John C. Culpepper, III, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes stated. Given under my hand and seal on this ___ day of ___ 20__

Notary Public, State of Texas

STATE OF TEXAS COUNTY OF BRAZOS Before me, the undersigned authority, on this day personally appeared W. Tyler Moore, Trustee of Edge Texas 1997 Trust, General Partner of Moore-Sherwood General Partnership, and acknowledged to me that he executed the same for the purpose stated on behalf of said trust and partnership.

Given under my hand and seal on this ___ day of ___ 20__ Notary Public, State of Texas

CERTIFICATE OF SURVEYOR

STATE OF TEXAS COUNTY OF BRAZOS I, Brad Kerr, Registered Public Surveyor No. 4502, in the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property and that property markers and monuments were placed under my supervision on the ground, and that the metes and bounds describing said subdivision will describe a closed geometric form.

Brad Kerr, R.P.L.S. No. 4502

APPROVAL OF PLANNING AND ZONING COMMISSION

I, _____, Chairman of the Planning and Zoning Commission of the City of Bryan, State of Texas, hereby certify that the attached plat was duly filed for approval with the Planning & Zoning Commission of the City of Bryan on the ___ day of ___ 20__, and same was duly approved on the ___ day of ___ 20__.

Chairman

CERTIFICATION OF CITY PLANNER

I, the undersigned, City Planner and/or designated Secretary of the Planning & Zoning Commission of the City of Bryan, hereby certify that this plat is in compliance with the appropriate codes and ordinances of the City of Bryan and was approved on the ___ day of ___ 20__.

City Planner, City of Bryan

APPROVAL OF THE CITY ENGINEER

I, the undersigned, City Engineer of the City of Bryan, hereby certify that this plat is in compliance with the appropriate codes and ordinances of the City of Bryan and was approved on the ___ day of ___ 20__.

City Engineer, City of Bryan

CERTIFICATE OF THE COUNTY CLERK

STATE OF TEXAS COUNTY OF BRAZOS I, _____, County Clerk, in and for said county, do hereby certify that this plat together with its certificates of authentication was filed for record in my office on the ___ day of ___ 20__ in the Official Public Records of Brazos County, Texas, in Volume ___ Page ___.

County Clerk, Brazos County, Texas

SEE SHEET 2 FOR ORIGINAL PLAT SHEET 1 OF 2

REPLAT OF LOT 1, BLOCK 1 SHERWOOD #1 VOLUME 2512, PAGE 305 LOT 4 CEDAR CREEK SUBDIVISION, PHASE II VOLUME 472, PAGE 659 AND THE ADJOINING 0.353 ACRE TRACT TO CREATE LOT 1R AND LOT 2, BLOCK 1 SHERWOOD #1 8.238 ACRES, JOHN AUSTIN LEAGUE, A-2 BRYAN, BRAZOS COUNTY, TEXAS SCALE: 1 INCH = 40 FEET SURVEY DATE: 05-09-13 PLAT DATE: 05-15-13 JOB NUMBER: 13-272 CAD NAME: 13-272 CR5 FILE: MARIA (cont); 13-272 (job) PREPARED BY: KERR SURVEYING, LLC 408 N. TEXAS AVENUE BRYAN, TEXAS 77803 PHONE (979) 266-3195 SHERWOOD REAL PROPERTY GENERAL PARTNERSHIP 1700 GEORGE BUSH DR. E. SUITE 340 COLLEGE STATION, TEXAS 77840 PHONE (979) 698-1444