

**VICINITY MAP
NTS**

GENERAL NOTES:

- 1.) THERE IS NO FLOODPLAIN LOCATED ON THE SUBJECT TRACT. THE APPLICABLE FLOODPLAIN FROM FIRM MAP 48041C0215 F, DATED APRIL 2, 2014, SHOWS THIS PROPERTY TO BE COMPLETELY WITHIN ZONE X AREAS OUTSIDE ANY FLOOD HAZARD AREA.
- 2.) STORM WATER RUNOFF SHALL DISCHARGE TO THE 20' DRAINAGE EASEMENT ALONG THE SOUTH EASTERN LINE OF THE PROPERTY.
- 3.) PROPOSED BUILDING IS SINGLE STORY 62'X80' WITH A 20' EAVE HEIGHT. OFFICE SPACE = 1,886 / WAREHOUSE SPACE = 3,074
- 4.) PROPOSED DEVELOPED AREA OF LOT IS 12739 SF.
- 5.) SITE TO BE USED FOR COMMERCIAL PURPOSES. ZONING IS C-3 COMMERCIAL.
- 6.) TRASH RECEPTILES SHALL BE USED FOR GARBAGE. NO DUMPSTER SHALL BE NEEDED.
- 7.) 10 PARKING SPACES AND 1 ADA PARKING SPACE. 1 PARKING SPOT PER 600 SF OF OFFICE SPACE. THERE WILL NOT BE A PARKING STOP ON THE SPACE WITH THE ROLL UP DOOR AS IT WILL BE USED FOR LOADING. THE LAST TWO PARKING SPACES, INCLUDING THE ONE IN FRONT OF THE ROLL UP DOOR, WILL BE RESERVED FOR OWNER.
- 8.) NOI AND CSN WILL NOT BE REQUIRED FOR THIS SITE AS IT IS UNDER 1 ACRE.
- 9.) FIRE SPRINKLER NOT REQUIRED DUE TO SIZE AND USE OF BUILDING.
- 10.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINMENT AND PROPER DISPOSAL OF ALL LIQUID AND SOLID WASTE ASSOCIATED WITH THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE OCCURRENCE OF WIND BLOWN LITTER FROM THE PROJECT SITE.
- 11.) DEMOLITION/CONSTRUCTION WASTE - SITE IS REQUIRED TO PROVIDE CONTAINMENT FOR WASTE PRIOR TO AND DURING DEMOLITION/CONSTRUCTION. SOLID WASTE ROLL OFF BOXES AND/OR METAL DUMPSTERS SHALL BE SUPPLIED BY CITY OR CITY PERMITTED CONTRACTOR(S) ONLY.
- 12.) IRRIGATION SYSTEM-POTABLE WATER SUPPLY MUST BE PROTECTED BY EITHER AN ATMOSPHERIC OR PRESSURE VACUUM BREAKER, OR TESTABLE DOUBLE CHECK VALVE ASSEMBLY, AND INSTALLED AS PER CITY ORDINANCE.
- 13.) POTABLE WATER PROTECTION-ALL DEVICES, APPURTENANCES, APPLIANCES AND APPARATUS INTENDED TO SERVE SOME SPECIAL FUNCTION AND THAT CONNECTS TO THE WATER SUPPLY SYSTEM, SHALL BE PROVIDED WITH PROTECTION AGAINST BACK FLOW AND CONTAMINATION OF THE WATER SUPPLY SYSTEM.

LANDSCAPING:

PARKING AND BUILDING AREA = 12,739 SF
 15% OF 12,739 = 1,911 SF
 3 EXISTING TREES @ 225 SF = 675
 5 CEDAR ELMS/MEXICAN MONTEREY OAK @ 200 SF = 1,000 SF
 24 SHRUBS @ 10 SF = 240 SF
 TOTAL LANDSCAPING = 1,915 SF

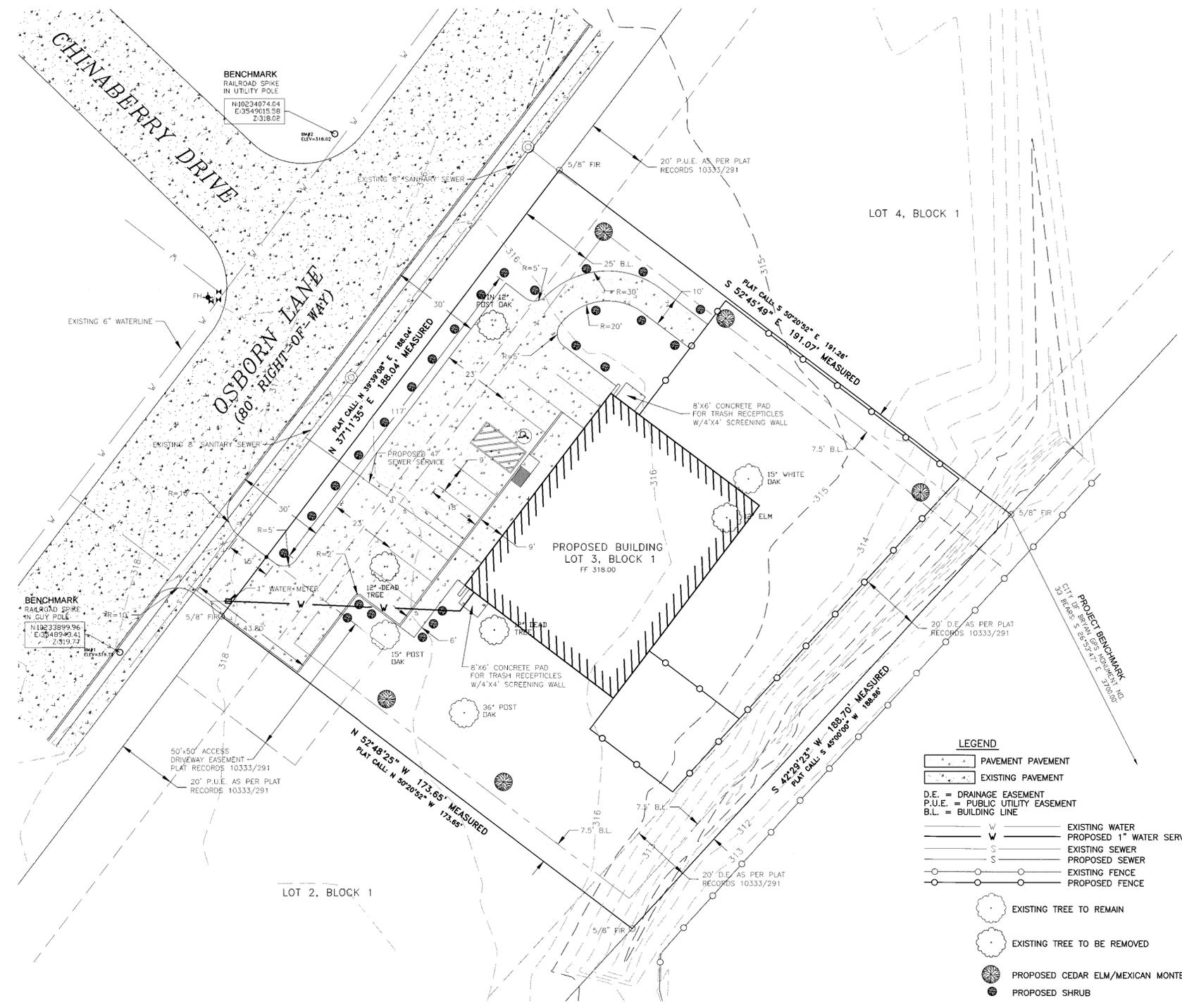
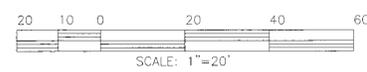
PARKING TABLE		
TYPE	SPACES	AREA SF
STANDARD	8	1296
OWNER	2	324
HANDICAP	1	324

LANDSCAPE NOTES:

- 1.) ALL DISTURBED AREA TO BE SEEDED WITH BERMUDA GRASS.
- 2.) ALL LANDSCAPING MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF INSTALLATION BY CONTRACTOR. AFTER ONE YEAR, THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPING.
- 3.) PLANT MATERIAL THAT WILL BE INSTALLED WILL BE SIGNIFICANTLY SMALLER THAN THOSE SHOWN AND CONSIDERED IN THE CALCULATIONS. PLANT MATERIAL SHOULD NOT BE EXPECTED TO REACH MATURITY FOR SEVERAL YEARS DEPENDANT ON GROWING CONDITIONS.
- 4.) CONTRACTOR IS TO SEED ALL DISTURBED AREAS LEFT UNPAVED AND GUARANTEE COVERAGE OF VEGETATION UNTIL ESTABLISHMENT OF GRASS. GRASS TYPE SHALL BE BERMUDA GRASS OR RYE/BERMUDA MIXTURE.
- 5.) PLANT MATERIAL WILL BE WATERED BY HOSE BIBS LOCATED AT BUILDING CORNERS.
- 6.) PLANTINGS FOR PARKING LOT SCREENING SHALL BE PLANTED A MAXIMUM OF 3 FEET FROM THE EDGE OF PARKING LOT PAVEMENT. NO PLANTINGS SHALL BE PLACED DIRECTLY OVER EXISTING WATER/SEWER UTILITIES.

CONSTRUCTION NOTES:

- 1.) TRASH RECEPTILES SHALL BE PLACED ON THE SIDES OF THE BUILDING. THERE WILL BE A CONCRETE PAD FOR THE RECEPTILES AND THERE WILL BE A 4'X4' WIDE WALL CONSTRUCTED IN FRONT OF THE RECEPTILE LOCATION FOR SCREENING.
- 2.) ALL SITE WORK IS TO BE DONE IN CONFORMANCE WITH BRYAN/COLLEGE STATION 2012 STANDARD SPECIFICATIONS FOR WATER AND SEWER AND THE CITY OF BRYAN STANDARD SPECIFICATIONS FOR STREETS AND DRAINAGE.
- 3.) ALL FILL SUBGRADE AND BASE MATERIAL SHALL BE COMPACTED TO 98% STD IN AREAS TO BE PAVED AND 95% STD IN ALL OTHER AREAS.
- 4.) ALL CONCRETE TO BE CONSTRUCTED 3,500 PSI (MIN) 28 DAY STRENGTH PORTLAND CEMENT CONCRETE.
- 5.) ALL ITEMS TO BE REMOVED DURING CLEARING AND GRUBBING. REMOVE NOT ONLY THE ABOVE GROUND ELEMENTS, BUT ALL UNDERGROUND ELEMENTS AS WELL. ALL EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS OTHERWISE DIRECTED BY THE OWNER. ALL DEBRIS MUST BE DISPOSED OF OFF-SITE.
- 6.) PRIOR TO GRADING OPERATIONS, THE CONTRACTOR IS TO STRIP THE FIRST 6" OF SOIL. CONTRACTOR SHALL PROOF ROLL THE ENTIRE SITE AND REMOVE ANY UNSTABLE MATERIALS ACCORDING TO TxDOT SPECIFICATIONS. SELECT FILL IS TO BE USED IN REPLACING OBJECTIONABLE MATERIAL.
- 7.) EACH UTILITY CONTRACTOR IS RESPONSIBLE FOR POSITIONING AND TRENCHING OF SERVICE LINES. MARK ALL LINES WITH UTILITY TAPE. UTILITY CONTRACTORS ARE RESPONSIBLE FOR COORDINATING WITH PAVING CONTRACTOR IN PLACEMENT AND INSTALLATION OF ANY NECESSARY UTILITY CONDUIT PRIOR TO SUBGRADE PREPARATION. LINES REQUIRING SLOPE CONTROL ARE TO BE INSTALLED FIRST. ALL OTHER LINES NOT REQUIRING SLOPE CONTROL OR ELEVATION SHALL BE INSTALLED DEEPEST FIRST. EACH CONTRACTOR IS RESPONSIBLE FOR KNOWING FINAL DETERMINATION OF INSTALLATION ORDER.
- 8.) THE PARKING LOT IS 6" DEPTH CONCRETE PAVEMENT TO MEET OR EXCEED MINIMUM CITY OF BRYAN REQUIREMENTS.
- 9.) MATERIALS AND METHODS FOR PAVEMENT MARKINGS SHALL CONFORM TO TxDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS, AND BRIDGES (CURRENT EDITION) WITH THE FOLLOWING EXCEPTIONS: 1. TYPE II MARKING MATERIALS NEED NOT BE PURCHASED FROM THE DEPARTMENT, AND 2. GLASS BEANS MAY BE OMITTED, BUT MARKING MATERIAL SHALL BE TYPE II PAINT-TYPE MATERIAL.



LEGEND

- PAVEMENT PAVEMENT
- EXISTING PAVEMENT
- D.E. = DRAINAGE EASEMENT
- P.U.E. = PUBLIC UTILITY EASEMENT
- B.L. = BUILDING LINE
- EXISTING WATER
- PROPOSED 1" WATER SERVICE
- EXISTING SEWER
- PROPOSED SEWER
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- PROPOSED CEDAR ELM/MEXICAN MONTEREY OAK TREE
- PROPOSED SHRUB

OWNER:
 MOORE MILITARIA
 12793 SH 30, SUITE 2
 COLLEGE STATION, TEXAS 77845

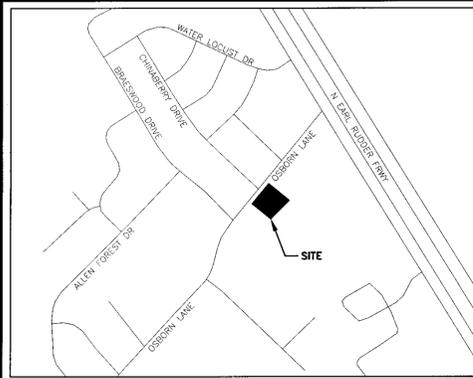
SITE PLAN FOR
 2760 OSBORN LANE
 LOT 3, BLOCK 1, BEING 0.79 ACRES
 WINDHAM SUBDIVISION
 VOLUME 10333, PAGE 291
 CITY OF BRYAN, BRAZOS COUNTY, TEXAS

DYER ENGINEERING, INC.
ENGINEERING & CONSULTING
 Land Development - Commercial Site Civil - Municipal - Environmental
 1402 Rawlings - Flower Mound, Texas 75022 - Phone: 512-394-9552 - Email: dyer_eng@mail.com
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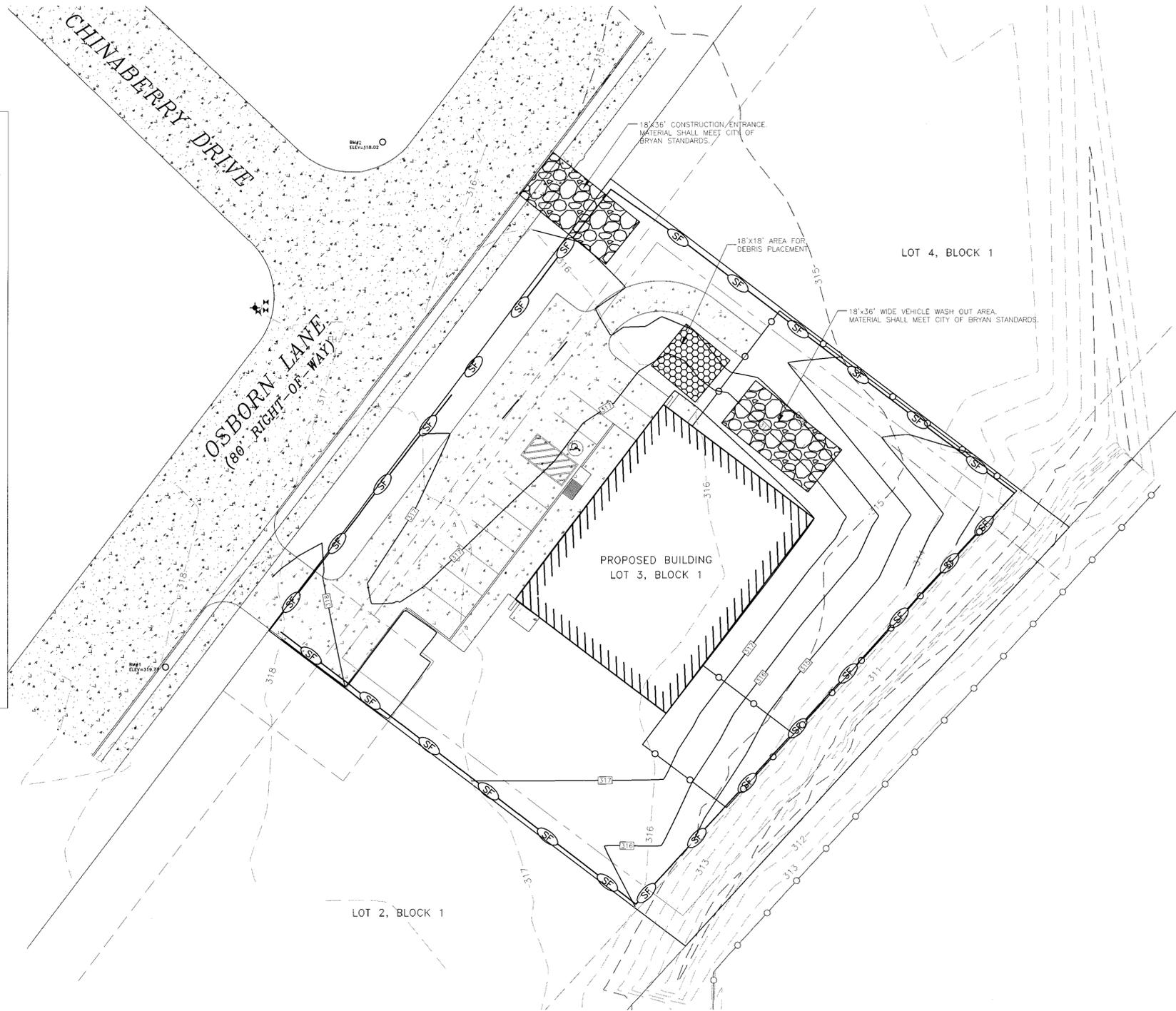
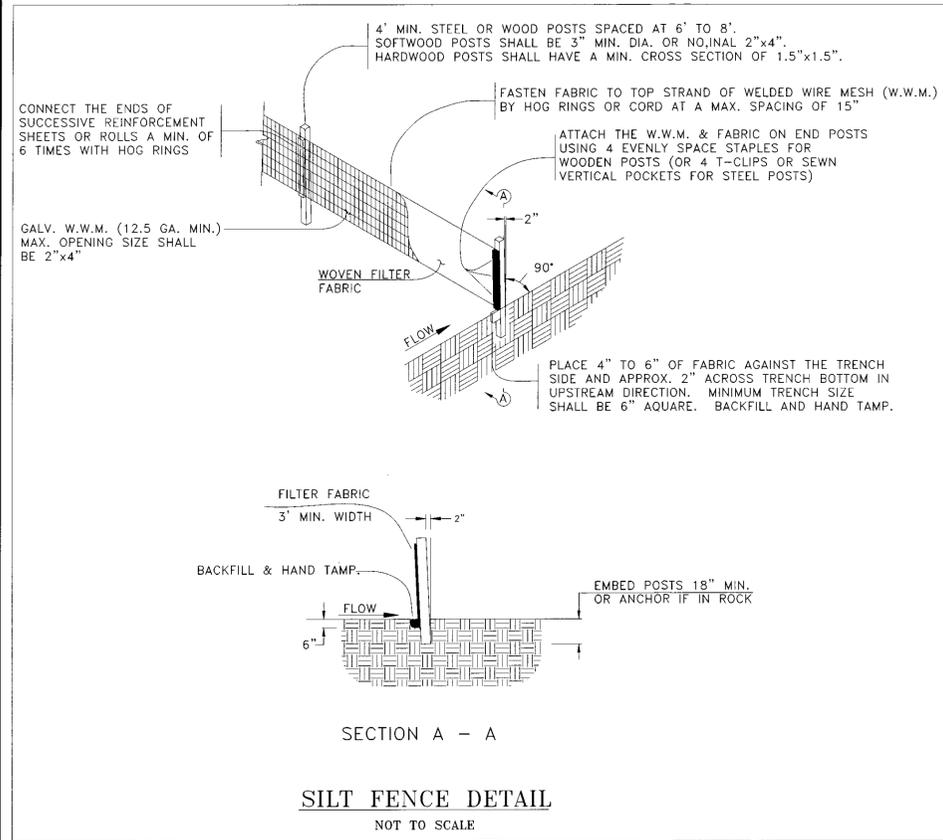
SCALE: 1"=20'
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 DRAWN BY: HO
 CHECKED BY: JBD

PRELIMINARY FOR
 REVIEW PURPOSES

JACK B. DYER
 REGISTERED PROFESSIONAL
 ENGINEER NO. 86238



VICINITY MAP
NTS



- LEGEND**
- PAVEMENT PAVEMENT
 - EXISTING PAVEMENT
 - D.E. = DRAINAGE EASEMENT
 - P.U.E. = PUBLIC UTILITY EASEMENT
 - B.L. = BUILDING LINE
 - EXISTING WATER
 - PROPOSED WATER
 - EXISTING SEWER
 - PROPOSED SEWER
 - PROPOSED CREPE MYRTLE
 - PROPOSED SHRUB
 - SILT-FENCE LOCATION



OWNER:
MOORE MILITARIA
12793 SH 30, SUITE 2
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EROSION CONTROL PLAN FOR
2760 OSBORN LANE
LOT 3, BLOCK 1, BEING 0.79 ACRES
WINDHAM SUBDIVISION
VOLUME 10333, PAGE 291
CITY OF BRYAN, BRAZOS COUNTY, TEXAS

SHEET 2
2 OF 3
JOB NO. C14017

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Land Development - Commercial Site Civil - Municipal - Environmental
1401 Rawlings - Flower Mound, Texas 75022 - Phone: 940-945-9450 - Email: dyereng@gmail.com
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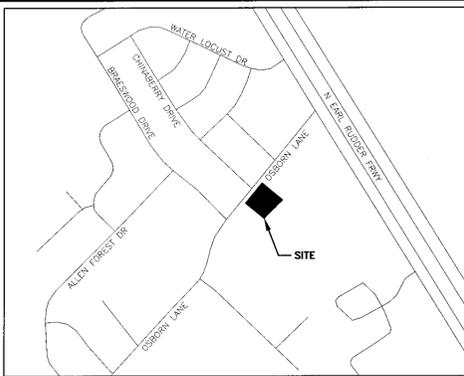


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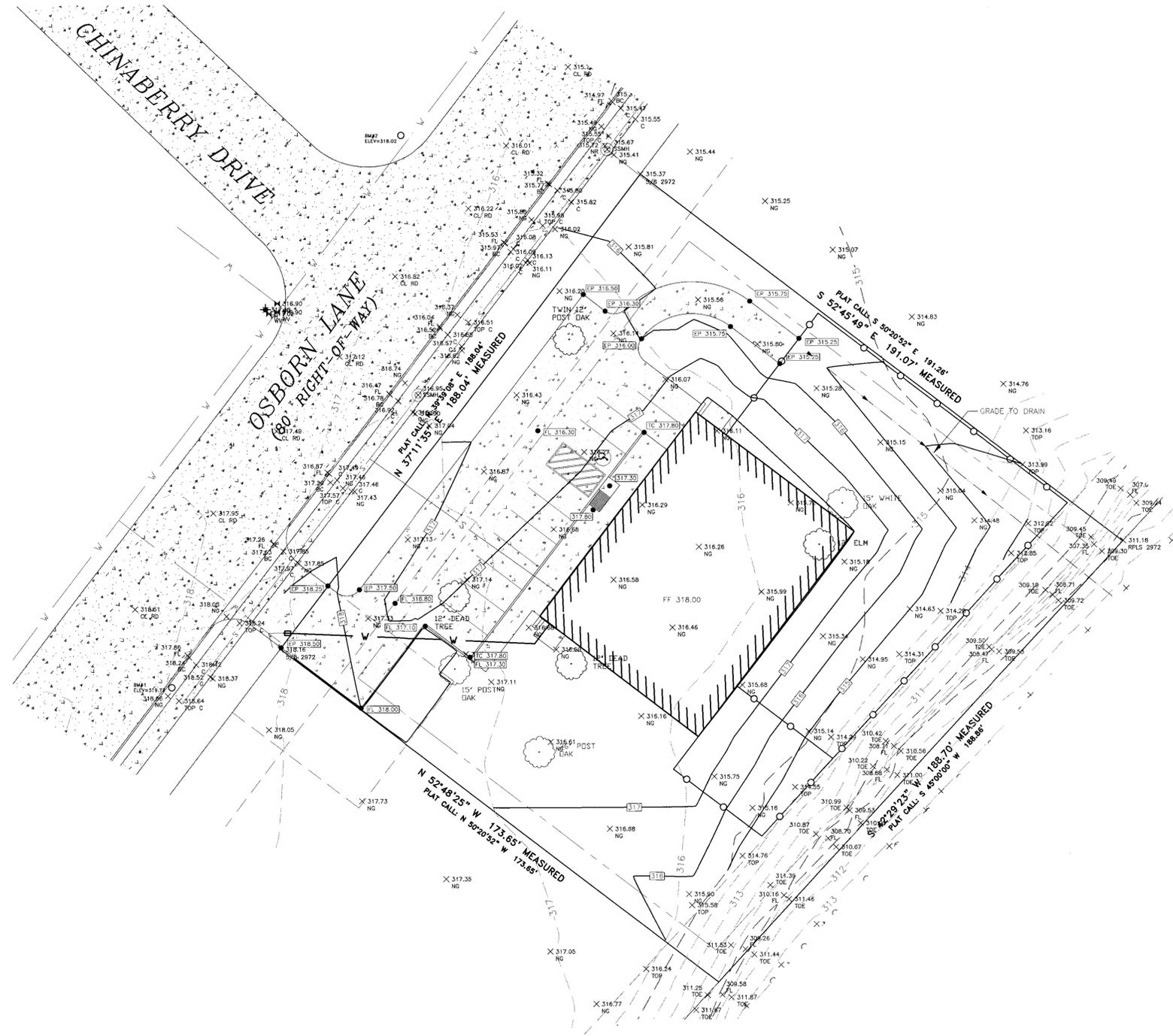
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REGISTERED PROFESSIONAL ENGINEER NO. 86238



VICINITY MAP
NTS



BM #1:
RR SPIKE IN GUY POLE LOCATED 35' WEST OF THE
NORTHWEST CORNER OF THE TRACT. ELEV=319.77
BM #2:
RR SPIKE IN UTILITY POLE ON THE NORTHEAST CORNER OF
CHINABERRY DRIVE AND OSBORN LANE. ELEV=318.02

LEGEND	
	PAVEMENT
	EXISTING PAVEMENT
	D.E. = DRAINAGE EASEMENT
	P.U.E. = PUBLIC UTILITY EASEMENT
	B.L. = BUILDING LINE
	EXISTING SPOT ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED FLOWLINE ELEVATION
	PROPOSED SPOT ELEVATION
	EXISTING WATER
	PROPOSED WATER
	EXISTING SEWER
	PROPOSED SEWER
	PROPOSED FLOWLINE
	EXISTING INDEX CONTOURS
	EXISTING CONTOURS
	PROPOSED CONTOURS



OWNER:
MOORE MILITARIA
12793 SH 30, SUITE 2
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REVIEW PURPOSES

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ENGINEER NO. 86238

SHEET 3 OF 3	JOB No. C14017
GRADING PLAN FOR 2760 OSBORN LANE LOT 3, BLOCK 1, BEING 0.79 ACRES WINDHAM SUBDIVISION VOLUME 10333, PAGE 291 CITY OF BRYAN, BRAZOS COUNTY, TEXAS	