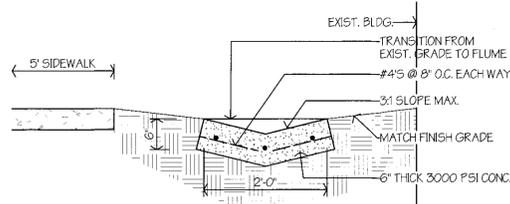


CONCRETE TRENCH W/ GRATE 3/4"=1'-0" 16



FLUME @ TRENCH 3/4"=1'-0" 12

PAVING REQUIREMENTS*				
LOCATION	THK.	REINF.	PSI	SUB-BASE
SIDEWALKS	4"	#3 @ 18" O.C.E.W.	3000	6" COMP. FILL
PARKING	5"	#3 @ 12" O.C.E.W.	3000	6" COMP. FILL
DRIVES	5"	#3 @ 12" O.C.E.W.	3000	6" COMP. FILL
TRUCK DRIVES	7"	#4 @ 12" O.C.E.W.	3000	12" COMP. FILL
COURTYARD	4"	#3 @ 18" O.C.E.W.	3000	6" COMP. EXIST. EARTH
MEP PADS	5"	#3 @ 12" O.C.E.W.	3000	6" COMP. FILL

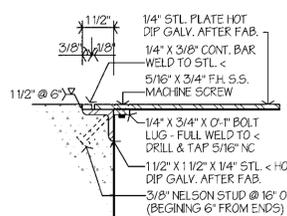
- 1) AT ALL PAVING, REMOVE TOPSOIL, VEGETATION, & ROOTS. CUT OR ADD FILL AS REQD.
- 2) ALL FILL SHALL BE SELECT AS SPECIFIED. LACKING SPECIFICATIONS, MAX. P.I. = 20.
- 3) ALL BASE MATERIAL SHALL BE COMPACTED AS SPECIFIED. LACKING SPECS, COMPACT TO 95% STANDARD PROCTOR IN MAX. 6" LIFTS.
- 4) ALL FILL BELOW PAVING SHALL BE COMPACTED AS SPECIFIED. LACKING SPECS, COMPACT TO 95% STANDARD PROCTOR IN MAX. 6" LIFTS.
- 5) ALL FILL NOT BELOW PAVING OR FOUNDATION SHALL BE COMPACTED AS SPECIFIED. LACKING SPECS, COMPACT TO 90% STANDARD.

\* SEE THE PROJECT MANUAL FOR SPECIFICATIONS WHICH OVER RULE CONFLICTING INFORMATION SHOWN HERE. FOR FOUNDATION REQUIREMENTS - SEE THE SPECIFICATIONS OR THE FOUNDATION DRAWINGS. REQUIREMENTS ABOVE INDICATE GENERAL REINFORCING ONLY - SEE DETAILS FOR ADDITIONAL REQUIREMENT AT JOINTS, BEAMS, TURN DOWNS, AND OTHER SPECIAL LOCATIONS.

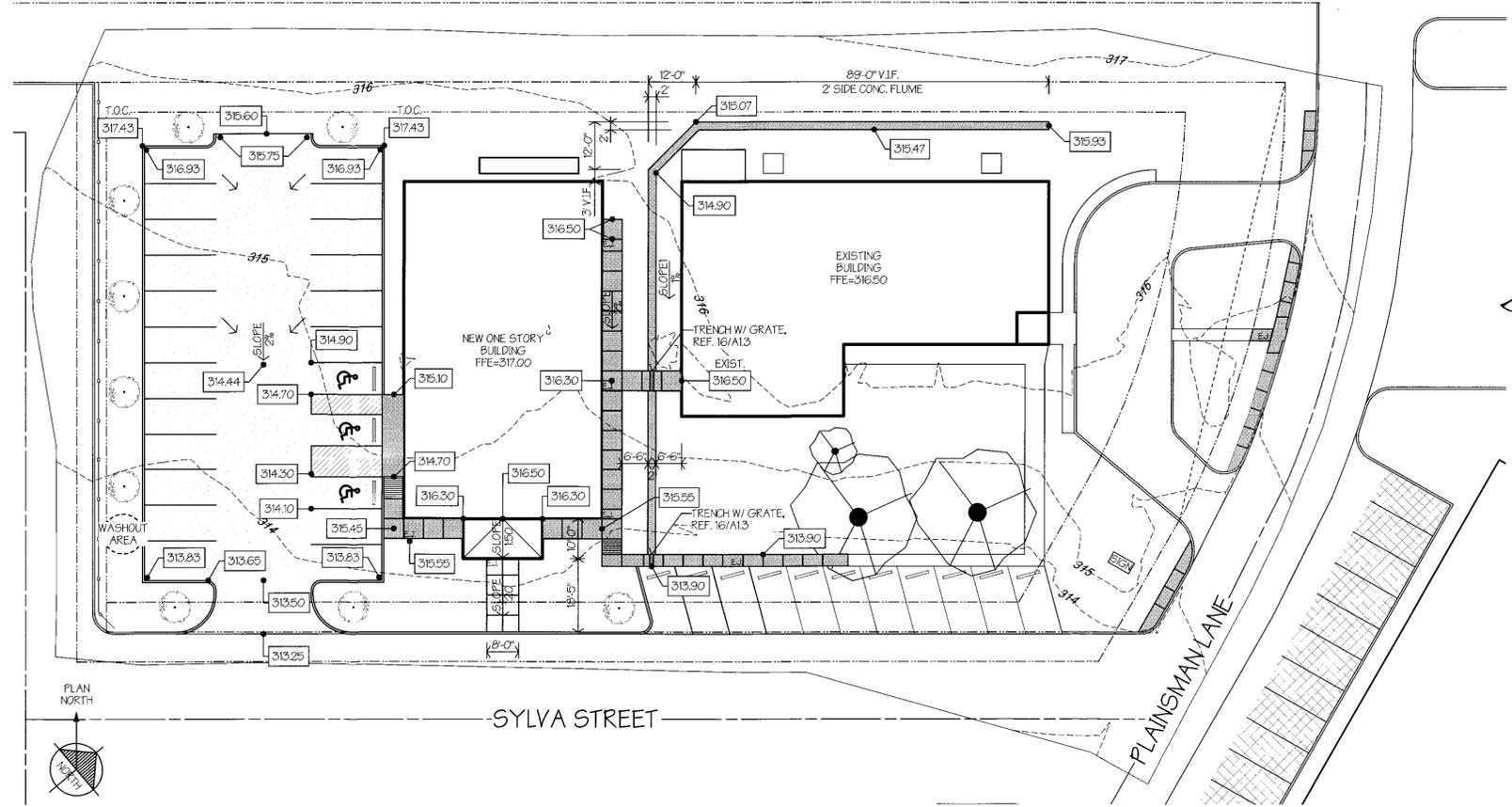
- 1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINMENT AND PROPER DISPOSAL OF ALL LIQUID AND SOLID WASTE ASSOCIATED WITH THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE OCCURRENCE OF WIND-BLOWN LITTER FROM THE PROJECT SITE.
- 2) CONSTRUCTION WASTE HANDLE BY THE WASH OUT AREA INDICATED AT THE SITE PLAN
- 3) SITE IS NOT MANUFACTURING AND/OR PREPARING FOOD ITEMS TO PUBLIC/CUSTOMERS.
- 4) RESIDENTIAL ROLL OFF CONTAINER WILL BE USED FOR SOLID WASTE
- 5) NO TEMPORARY ACCESS WILL BE USED FOR VEHICLES DURING CONSTRUCTION
- 6) NO WASTEWATER PRE-TREATMENT DEVICES WILL BE USED
- 7) NO PROPOSED SIGNAGE WILL BE DONE
- 8) DEMOLITION/CONSTRUCTION WASTE - SITE IS REQUIRED TO PROVIDE CONTAINMENT FOR WASTE PRIOR TO AND DURING DEMOLITION/CONSTRUCTION. SOLID WASTE ROLL OFF BOXES AND/OR METAL DUMPSTERS SHALL BE SUPPLIED BY CITY OR CITY PERMITTED CONTRACTOR(S) ONLY.

PAVING REQUIREMENTS NO SCALE 8

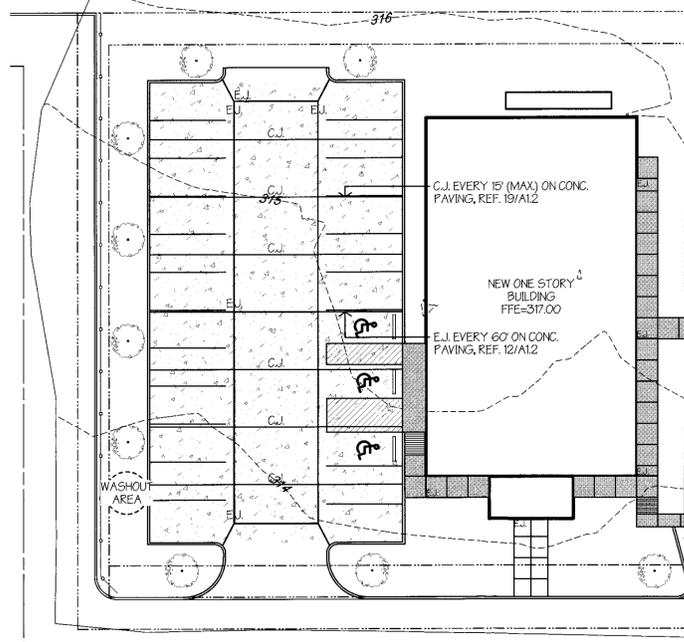
SITE NOTES NO SCALE 4



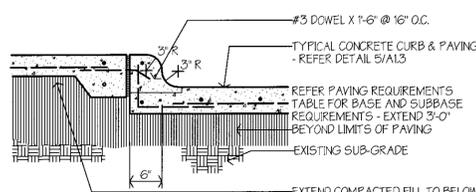
ANGLE @ TRENCH 3"=1'-0" 15



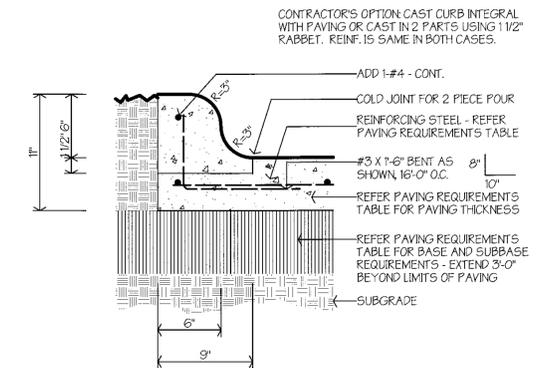
SITE GRADING PLAN 1"=20'-0" 2



CONCRETE PAVING \*ALTERNATE 2 1"=20'-0" 13



SIDEWALK @ CURB 3/4"=1'-0" 9



TYP. CURB W/ CONCRETE PAVING 1 1/2"=1'-0" 5

CONTRACTOR'S OPTION: CAST CURB INTEGRAL WITH PAVING OR CAST IN 2 PARTS USING 1 1/2" RABBIT. REINF. IS SAME IN BOTH CASES.

ADD 1-#4 - CONT.

COLD JOINT FOR 2 PIECE POUR REINFORCING STEEL - REFER PAVING REQUIREMENTS TABLE

#3 X 1-6" BENT AS SHOWN 18" O.C.

REFER PAVING REQUIREMENTS TABLE FOR PAVING THICKNESS

REFER PAVING REQUIREMENTS TABLE FOR BASE AND SUBBASE REQUIREMENTS - EXTEND 3'-0" BEYOND LIMITS OF PAVING

SUBGRADE

- NEW CONCRETE SIDEWALK, REF. 15/A12
- SCORED JOINTS - EVENLY SPACED @ 5'-0" MAX.
- EXPANSION JOINTS @ 30'-0" O.C. MAX. OR WHERE NOTED
- NEW ASPHALT OR CONC. PARKING
- EXISTING PARKING PROVIDED BY OTHERS (EXECUTIVE OFFICE PLAZA)
- PP POWER POLE
- M.H. MAN HOLE
- W.M. WATER METER
- W.V. WATER VALVE
- LP LIGHT POLE
- F.H.Y.D. FIRE HYDRANT
- EXISTING ELEC. LINE
- PROPOSED ELEC. LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SANITARY LINE
- PROPOSED SANITARY LINE
- STEEL PIPE FENCE

LEGEND NO SCALE 1

**PATTERSON ARCHITECTS**  
design for the future  
www.pataarch.com  
701 South Texas Ave.  
Bryan, Texas 77803  
voice: 979.775.6036  
fax: 979.779.0727  
design@pataarch.com

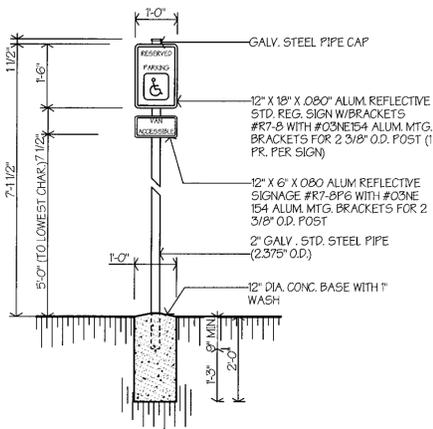
**SWOBODA ENGINEERING**  
10000 SWOBODA DRIVE  
BRYAN, TEXAS 77803  
www.swoboda-engineering.com



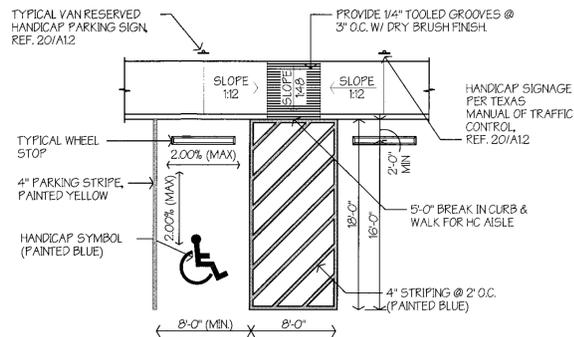
A New Worship Facility For  
**Mount Nebo Missionary Baptist Church**  
3610 Plainsman Lane  
Bryan, TX

Date	Issue Notes

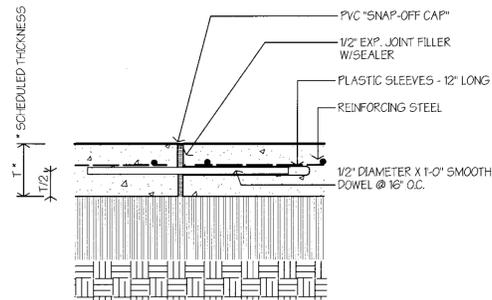
Drawn By: JMH  
Checked By: FP  
Patterson Project No.: 1413  
Building Inventory No.:  
Plot Date: Jan 13, 2015  
CAD File: A13 Grading Plan 1413.rvt  
Project No.:  
Sheet Title:  
**SITE GRADING PLAN**



HANDICAP SIGN 1/2"=1'-0" (20)



HANDICAP PARKING 1/8"=1'-0" (16)



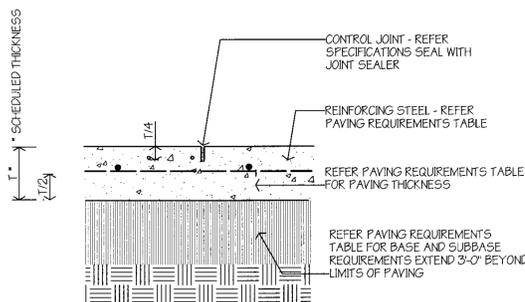
EXPANSION JOINT 1 1/2"=1'-0" (12)

PAVING REQUIREMENTS*					
LOCATION	THK.	REINF.	PSI	BASE	SUB-BASE
SIDEWALKS	4"	#3 @ 16" O.C.E.W.	3000	6" COMP. FILL	EXIST. EARTH
PARKING	5"	#3 @ 12" O.C.E.W.	3000	6" COMP. FILL	EXIST. EARTH
DRIVES	5"	#3 @ 12" O.C.E.W.	3000	6" COMP. FILL	EXIST. EARTH
TRUCK DRIVES	7"	#4 @ 12" O.C.E.W.	3000	12" COMP. FILL	LIME INJECTED EARTH
COURTYARD	4"	#3 @ 16" O.C.E.W.	3000	6" COMP. EXIST. EARTH	EXIST. EARTH
MEP PADS	5"	#3 @ 12" O.C.E.W.	3000	6" COMP. FILL	EXIST. EARTH

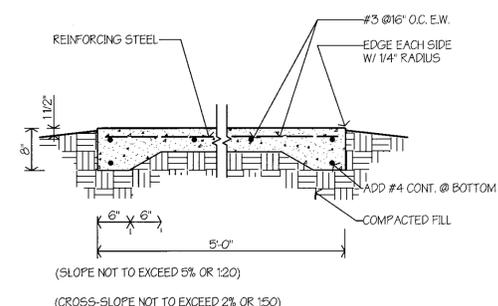
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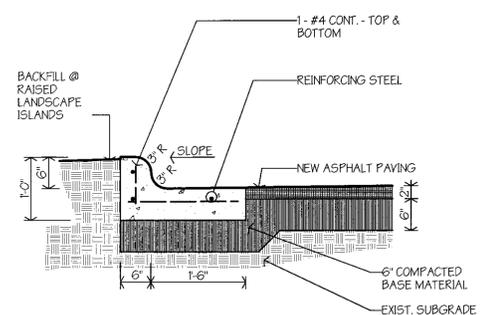
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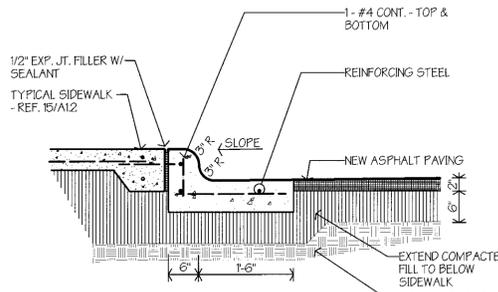
CONTROL JOINT 1 1/2"=1'-0" (19)



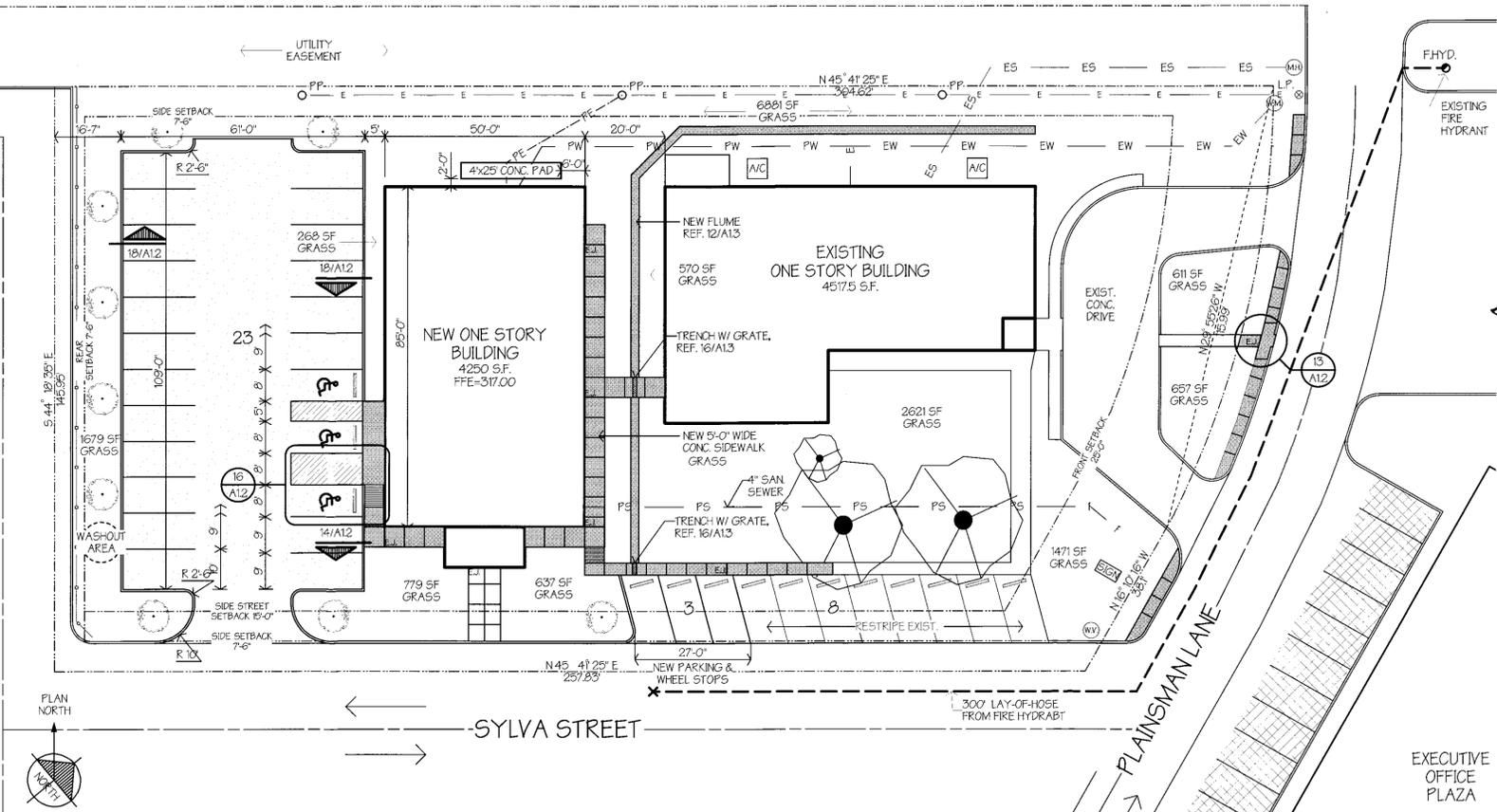
TYPICAL SIDEWALK 3/4"=1'-0" (15)



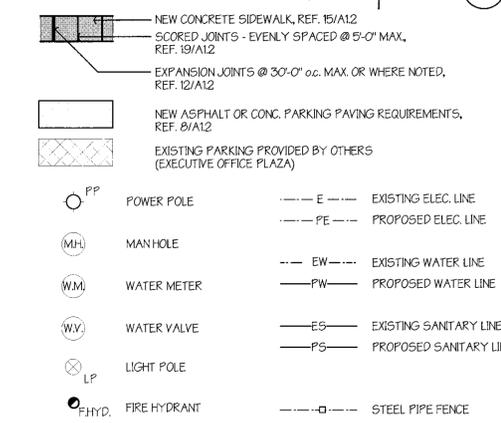
TYP. CURB W/ ASPHALT PAVING 3/4"=1'-0" (18)



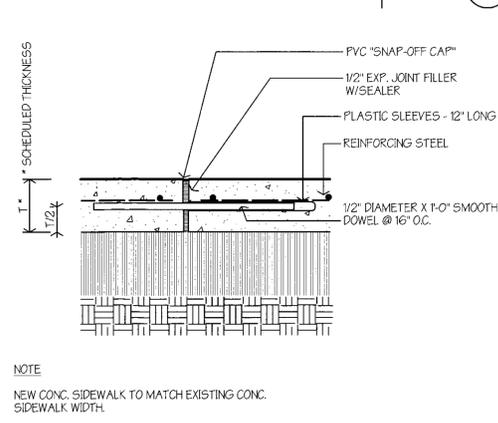
CURB @ SIDEWALK 3/4"=1'-0" (14)



SITE PLAN 1"=20'-0" (2)



LEGEND NO SCALE (17)



CONC. SIDEWALK (NEW TO EXISTING) 1 1/2"=1'-0" (13)

**PROJECT DATA** NO SCALE (9)

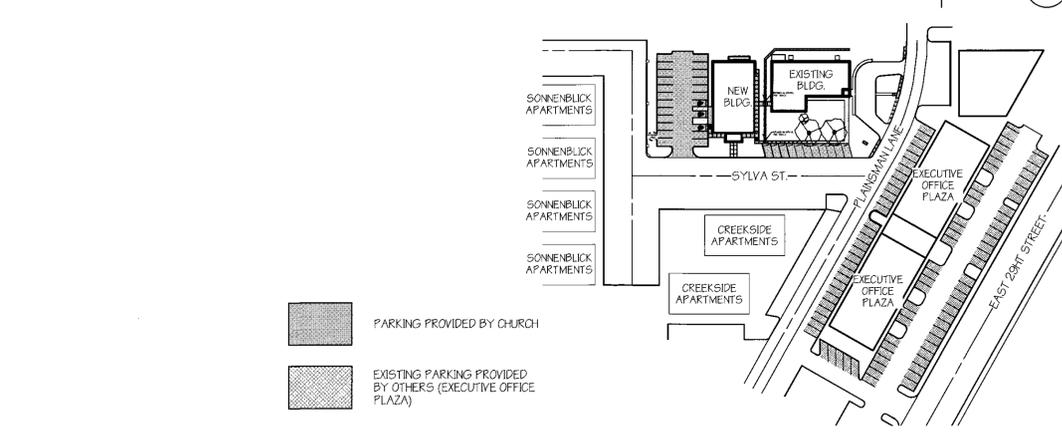
EXISTING PARKING ANALYSIS:  
REQUIRED PARKING (1.5 SPACE PER 2 SEATS IN SANCTUARY)  
PER LAND AND SITE DEVELOPMENT ORDINANCE, CHAPTER 62-297(i) (2) (B) (1)

TOTAL SPACES REQUIRED	118 SPACES
CHURCH SPACES PROVIDED (31 SPACES AND 3 HANDICAP)	34 SPACES
OFF-SITE SPACES PROVIDED (EXECUTIVE OFFICE PLAZA)	88 SPACES
TOTAL SPACES PROVIDED	122 SPACES

LEGAL DESCRIPTION: RICHARD CARTER (AB #8)  
BLOCK 1, LOT 15 (TR-6.7)  
.97 ACRES  
BRYAN, TEXAS

SITE IS NOT WITHIN 100 YR. FLOOD PLAIN - MAP NUMBER #: 480082 0010 B, MAY 19, 1981

LANDSCAPE ANALYSIS:	
AREA OF EXISTING BUILDINGS W/ OVERHANG	4,517 SF
AREA OF NEW BUILDING	4,250 SF
AREA OF NEW COVERED WALKWAY	200 SF
AREA OF EXISTING PARKING AND PAVED SURFACES	2,456 SF
AREA OF NEW PARKING	6,540 SF
TOTAL DEVELOPED AREA	17,963 SF
REQUIRED LANDSCAPE SQUARE FOOTAGE (17,963 SF X 15%)	2,695 SF
EXISTING PLANTED CANOPY TREES, LIVE OAK (2X 225)	450 SF
EXISTING PLANTED NON-CANOPY TREES, GRAPE MYRTLE (1X 50)	50 SF
NEW PLANTED CANOPY TREES, LIVE OAK 1 1/2" (9X 200)	1,800 SF
EXISTING GRASS (17,837 SF/10) OR (2695 X 15%)	404 SF
TOTAL LANDSCAPE SQUARE FOOTAGE PROVIDED	2,704 SF



PARKING NO SCALE (1)

A New Worship Facility For  
**Mount Nebo Missionary Baptist Church**  
3610 Plainsman Lane  
Bryan, TX

No. Date: Issue Notes:

Drawn By:	JMH
Checked By:	FP
Paterson Project No.:	1413
Building Inventory No.:	
Plot Date:	Jan 13, 2015
CAD File:	A12 Site Plan 1413.rvt
Project No.:	
Sheet Title:	<b>SITE PLAN &amp; DETAILS</b>
Sheet	<b>A1.2</b>