

HFA
ARCHITECTS
ENGINEERS
INTERIORS

HARRISON FRENCH
ASSOCIATES, LTD.

1705 S. Walton Blvd., Suite 3
Bentonville, Arkansas 72712
t 479.273.7780
f 479.273.9436
www.hfa-ae.com

STIPULATION FOR REUSE
THIS DRAWING WAS PREPARED FOR USE
ON A SPECIFIC SITE, AT
CONTEMPORARILY WITH ITS ISSUE
DATE OF 3/6/2015
AND IS NOT SUITABLE FOR USE ON A
LATER TIME OR FOR THE PURPOSES OF
PROJECTS REQUIRING THE SERVICES OF
ENGINEERS, ARCHITECTS, OR OTHER
PROFESSIONALS. REPRODUCTION OF THIS
DRAWING IS NOT AUTHORIZED AND MAY
BE CONSIDERED A VIOLATION OF THE LAW.

stripes

stripes.

STORE 2474
4300 BOONVILLE ROAD
BRYAN, TX 77802

PROJ NUMBER: 10-15-00024

ISSUE BLOCK		
△	TITLE	DATE
△	95%	10/27/14
△	100%	11/10/14
△	OTP	12/15/14
△	CCR1	2/18/15
△	CCR2	3/6/15

STORE NO.: 2474
DOCUMENT DATE: 3/6/2015
CHECKED BY: P.M
DRAWN BY: CLM

FOR PERMIT
TEXAS COA
#F-8576

CLIENT
APPROVED
SITE PLAN

SHEET:
G102

Mac06.2015-9.31am - User chery.mcaquire
 I:\10-15-00024 Bryan TX FM 158 and Copperfield Drive\Disciplines\Civil\Construction Documents\2015-3-4 (CCR 2)\10-15-00024 PROJ.dwg



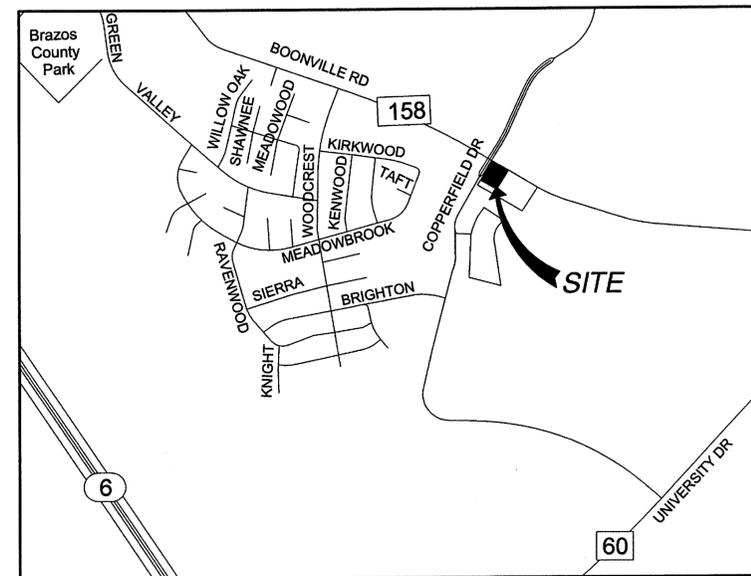
STRIPES

STORE 2474

4300 BOONVILLE ROAD

BRYAN, TX 77802

BRAZOS COUNTY



VICINITY MAP
NO SCALE



HFA
ARCHITECTS
ENGINEERS
INTERIORS

HARRISON FRENCH & ASSOCIATES, LTD

1705 S. Walton Blvd., Suite 3
Dentonville, Arkansas 72712
T 479.273.7780
F 479.273.9436
www.hfa-ae.com

STIPULATION FOR REUSE:
THIS DRAWING IS NOT TO BE REUSED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN APPROVAL OF HARRISON FRENCH & ASSOCIATES, LTD. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN APPROVAL OF HARRISON FRENCH & ASSOCIATES, LTD. IS STRICTLY PROHIBITED AND WILL BE CONSIDERED A VIOLATION OF THE LAW.

STORE 2474
4300 BOONVILLE ROAD
BRYAN, TX 77802

PROJ NUMBER: 10-15-00024

GENERAL NOTES

- CONTRACTOR SHALL HAVE ONE SIGNED COPY OF THE APPROVED PLANS AND THE APPROPRIATE STANDARDS AND SPECIFICATIONS ALONG WITH A COPY OF ANY PERMITS AND AGREEMENTS NEEDED FOR THE JOB ON-SITE AT ALL TIMES.
- CONTRACTOR SHALL MEET OR EXCEED ALL SITE WORK SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS FOR ALL MATERIALS AND CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY DURING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS IS ENCOUNTERED.
- NO REVISION SHALL BE MADE TO THESE PLANS WITH OUT THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
- ANY REFERENCE TO PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

SHEET LIST

- C0.0 COVER SHEET
- C0.1 DEMOLITION PLAN
- C1.0 SITE PLAN
- C1.1 PAVING PLAN
- C1.2 TRAFFIC CIRCULATION PLAN
- C2.0 GRADING PLAN
- C2.1 PRE DRAINAGE PLAN
- C2.2 POST DRAINAGE PLAN
- C2.3 POST DRAINAGE CALCULATIONS
- C3.0 EROSION & SEDIMENT CONTROL PLAN
- C4.0 UTILITY PLAN
- C5.0 LANDSCAPE PLAN
- C6.0 IRRIGATION PLAN
- C6.1 IRRIGATION DETAILS
- C7.0 DETAIL SHEET
- C7.1 DETAIL SHEET
- C7.2 DETAIL SHEET
- C7.3 CITY DETAILS
- C7.4 CITY DETAILS
- ASSOCIATED PLAN - ALTA SURVEY

LEGAL DESCRIPTION

METES AND BOUNDS DESCRIPTION:

BEING ALL THAT CERTAIN TRACT OR PARCEL OF LAND SITUATED IN THE J.W. SCOTT SURVEY, ABSTRACT NO. 49, CITY OF BRYAN, BRAZOS COUNTY, TEXAS, SAME BEING ALL OF LOT 1 - BLOCK 1 - TIFFANY PARK BUSINESS CENTER, AN ADDITION TO THE CITY OF BRYAN, TEXAS, ACCORDING TO THE PLAT RECORDED IN VOLUME 12212, PAGE 84, OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY, TEXAS, SAME BEING A PORTION OF THAT CALLED 6.404 ACRE TRACT CONVEYED TO C H & H KURTEN CEMETERY ROAD PARTNERSHIP, BY DEED RECORDED IN VOLUME 6747, PAGE 150 OF THE OFFICIAL RECORDS OF BRAZOS COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 5/8" IRON ROD FOUND WITH CAP MARKED "RPLS4502" AT THE NORTH CORNER OF SAID LOT 1 - BLOCK 1 - TIFFANY PARK BUSINESS CENTER, THE NORTH CORNER OF SAID C H & H KURTEN CEMETERY ROAD PARTNERSHIP CALLED 6.404 ACRE TRACT, FOR THE NORTH CORNER OF THE TRACT OF LAND HEREIN DESCRIBED, SAME BEING AT THE INTERSECTION OF THE SOUTHWEST LINE OF COPPERFIELD DRIVE, A VARIABLE WIDTH PUBLIC RIGHT-OF-WAY, WITH THE SOUTHWEST LINE OF F.M. HIGHWAY NO. 158, A VARIABLE WIDTH PUBLIC RIGHT-OF-WAY, AND FROM WHICH A 1/2" IRON ROD WITH CAP FOUND IN THE SOUTHWEST LINE OF SAID COPPERFIELD DRIVE MARKING THE WEST CORNER OF SAID C H & H KURTEN CEMETERY ROAD PARTNERSHIP CALLED 6.404 ACRE TRACT BEARS SOUTH 33°17'06" WEST (S 33°16'11" W RECORD), A DISTANCE OF 378.13 FEET (378.18' RECORD), AND A 5/8" IRON ROD FOUND WITH CAP MARKED "RPLS4502" IN THE SOUTHWEST LINE OF SAID F.M. HIGHWAY NO. 158 MARKING A CORNER OF SAID C H & H KURTEN CEMETERY ROAD PARTNERSHIP CALLED 6.404 ACRE TRACT BEARS SOUTH 58°41'58" EAST (S 58°41'23" E RECORD), A DISTANCE OF 513.07 FEET (513.10' RECORD);

THENCE SOUTH 58°41'58" EAST (S 58°41'23" E RECORD), ALONG THE SOUTHWEST LINE OF SAID F.M. HIGHWAY NO. 158 AND THE COMMON NORTHEAST LINE OF SAID C H & H KURTEN CEMETERY ROAD PARTNERSHIP CALLED 6.404 ACRE TRACT, A DISTANCE OF 250.00 FEET TO A 1/2" IRON ROD SET AT THE EAST CORNER OF SAID LOT 1, FOR THE EAST CORNER OF THE TRACT OF LAND HEREIN DESCRIBED, SAME BEING AT A COMMON NORTH CORNER OF LOT 2 - BLOCK 1 OF SAID TIFFANY PARK BUSINESS CENTER;

THENCE THROUGH AND SEVERING SAID C H & H KURTEN CEMETERY ROAD PARTNERSHIP CALLED 6.404 ACRE TRACT, ALONG THE COMMON LINES OF SAID LOTS 1 AND 2, THE FOLLOWING COURSES AND DISTANCES NUMBERED (1) AND (2):

1) SOUTH 33°16'16" WEST, A DISTANCE OF 300.20 FEET TO A 1/2" IRON ROD SET FOR THE SOUTH CORNER OF THE TRACT OF LAND HEREIN DESCRIBED;

2) NORTH 58°41'42" WEST, A DISTANCE OF 250.07 FEET TO A 1/2" IRON ROD SET FOR THE WEST CORNER OF SAID LOT 1 AND THE TRACT OF LAND HEREIN DESCRIBED, SAME BEING IN THE NORTHWEST LINE OF SAID C H & H KURTEN CEMETERY ROAD PARTNERSHIP CALLED 6.404 ACRE TRACT AND THE COMMON SOUTHEAST LINE OF AFORESAID COPPERFIELD DRIVE;

THENCE NORTH 33°17'06" EAST (N 33°16'11" E RECORD), ALONG SAID COMMON LINE, A DISTANCE OF 300.18 FEET TO THE POINT OF BEGINNING AND CONTAINING 1.722 ACRES OR 75,000 SQUARE FEET OF LAND.

BENCHMARK

BENCHMARK: MAG NAIL SET IN CONCRETE AT INLET CORNER
ELEVATION = 285.92'

FLOOD NOTE

ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 48041C0220E, DATED 05/16/12; THE PROPERTY SHOWN HEREON IS LOCATED IN ZONE "X" (UNSHADED), WHICH IS AN AREA OF MINIMAL FLOODING OUTSIDE THE 100-YEAR FLOODPLAIN.

CONTACTS

OWNER
STRIPES LLC
4525 AYERS STREET
CORPUS CHRISTI, TX 78415
(361) 693-8828
MIKE CHOATE

SURVEYOR
ASH & ASSOCIATES
132 JACKSON LANE
SAN MARCOS, TX 78666
(512) 392-1719
RICHARD H. TAYLOR

CIVIL ENGINEERING
HARRISON FRENCH & ASSOCIATES, LTD
1705 S. WALTON BLVD., SUITE 3
BENTONVILLE, AR 72712
(479) 273-7780
CHRIS JOHNSON

ARCHITECTS & MEP
HARRISON FRENCH & ASSOCIATES, LTD
1705 S. WALTON BLVD., SUITE 3
BENTONVILLE, AR 72712
(479) 273-7780
JAMI COOK

FIRE
CITY OF BRYAN FIRE MARSHAL
300 WILLIAM JOEL BRYAN PARKWAY
BRYAN, TX 77803
(979) 209-5960
MARC McFERON

SIGNAGE
CITY OF BRYAN
DEPT OF DEVELOPMENT SERVICES
300 SOUTH TEXAS AVENUE
BRYAN, TX 77803
(979) 209-5030
CODY CRAVATT

SITE PLAN & BUILDING PERMIT REVIEW
CITY OF BRYAN
DEPT OF DEVELOPMENT SERVICES
300 SOUTH TEXAS AVENUE
BRYAN, TX 77803
(979) 209-5030
CODY CRAVATT

HEALTH DEPARTMENT
BRAZOS COUNTY HEALTH DEPT.
201 N. TEXAS AVENUE
BRYAN, TX 77803
(979) 361-5752
SHELLY HOBBS

STATE HIGHWAY
TEXAS DEPT. OF TRANSPORTATION
2102 TABOR ROAD
BRYAN, TX 77803
(979) 778-6233
REHAN BHATTI

CITY HIGHWAY
CITY OF BRYAN
DEVELOPMENT & ENGINEERING SERVICES
300 SOUTH TEXAS AVENUE
BRYAN, TX 77803
(979) 209-5030
BRETT McCULLY

SANITARY SEWER, WATER
CITY OF BRYAN
DEVELOPMENT & ENGINEERING SERVICES
300 SOUTH TEXAS AVENUE
BRYAN, TX 77803
(979) 209-5030
BRETT McCULLY

NATURAL GAS
ATMOS ENERGY CORPORATION
297 N. EARL RUDDER FREEWAY
BRYAN, TX 77802
(979) 774-2542
LUIS CISNEROS

ELECTRIC
BRYAN TEXAS UTILITIES
205 E. 28TH STREET
BRYAN, TX 77803
(979) 821-5700
GREG BURKHALTER

TELEPHONE
VERIZON COMMUNICATIONS
301 INDUSTRIAL BLVD.
BRYAN, TX 77803
(979) 821-4754
ANTHONY VITANZA

STORMSEWER
CITY OF BRYAN
DEVELOPMENT & ENGINEERING SERVICES
300 SOUTH TEXAS AVENUE
BRYAN, TX 77803
(979) 209-5030
BRETT McCULLY

ISSUE BLOCK	
NO.	DATE
95K	10/27/14
100%	11/10/14
OTF	12/15/14
CCR1	2/18/15

STORE NO.: 2474
DOCUMENT DATE: 2/18/2015
CHECKED BY: PJM
DRAWN BY: CLM



FOR PERMIT
TEXAS COA
#F-8576

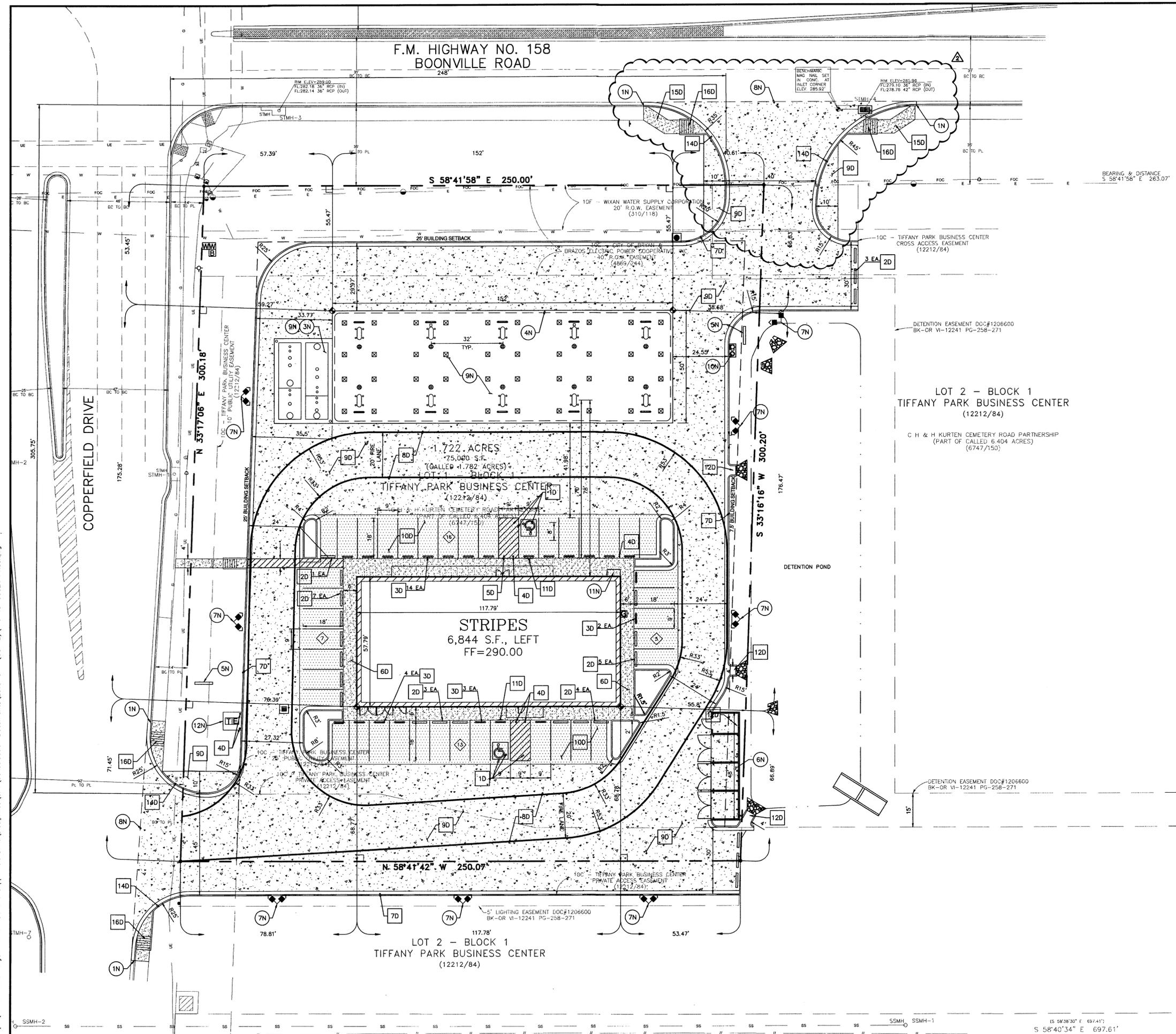
COVER SHEET

SHEET:
C0.0



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

Mar06,2015-8:45am - User: cherylmcquire
 I:\10\10-15-00024 Bryan TX FM 158 and Copperfield Drive Disciplines\Civil\Construction Documents\2015-3-4 (CCR 2)\10-15-00024 PROJ.dwg



- PROPOSED**
- PROPERTY LINE
 - ==== CURBING
 - ==== FIRE LANE
 - LIMITS OF PONDING
 - BUILDING CONTROL POINT
 - CURB INLET
 - ELECTRIC METER
 - GAS METER
 - PARKING COUNT
 - TRANSFORMER
 - WATER METER
 - BACKFLOW PREVENTER

- GENERAL SITE NOTES**
- UNLESS OTHERWISE SHOWN, ALL CURB RADI SHALL BE 2' OR 10'.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL CURBING SHALL BE TYPE B PER DETAIL TYPE B CURB, UNLESS OTHERWISE NOTED.
 - ALL WORK AND MATERIALS SHALL COMPLY WITH ALL LOCAL REGULATIONS AND O.S.H.A. STANDARDS.
 - CONTRACTOR SHALL REFER TO ARCHITECT PLANS FOR EXACT BUILDING DIMENSIONS AND UTILITY ENTRANCE LOCATIONS.
 - CONTRACTOR SHALL REFER TO SPECIFICATIONS AND GEOTECHNICAL REPORT DETAILS FOR PAVING DESIGN AND PROPER MATERIALS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SITE UNTIL WORK IS ACCEPTED BY THE OWNER.
 - ALL SIGNS SHALL BE PER MUTCD.
 - CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING ADEQUATE TRAFFIC CONTROL THROUGHOUT THE PROJECT, INCLUDING PROPER TRAFFIC CONTROL DEVICES AND/OR PERSONNEL AS REQUIRED. THIS INCLUDES BOTH VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH MUT.C.D.
 - ALL SIGNAGE WILL BE PERMITTED SEPARATELY.

- NOTES**
- 1N. TAPER CURB TO MATCH EXISTING
 - 2N. TAPER CURB FROM 6" TO 0" OVER 2'
 - 3N. UNDERGROUND STORAGE TANKS (PER FUELING PLANS)
 - 4N. FUELING CANOPY (PER FUELING PLANS)
 - 5N. PYLON SIGN (PER SIGN PLANS)
 - 6N. DUMPSTER PAD
 - 7N. LIGHTING (PER LIGHTING PLAN)
 - 8N. SAWCUT LINE- PROPOSED PAVING TO MATCH EXISTING ELEVATIONS
 - 9N. CONCRETE PAVING BY OTHERS
 - 10N. AIR / WATER EQUIPMENT LOCATION
 - 11N. BLUE RHINO PROPANE
 - 12N. TRANSFORMER PAD

- DETAILS**
- 1D. PARKING LOT STRIPING, SEE DETAIL 3C7.0
 - 2D. PRECAST CONCRETE WHEEL STOP, SEE DETAIL 2C7.0
 - 3D. U-PIPE BOLLARD, SEE DETAIL 16C7.0
 - 4D. PIPE BOLLARD (BOLLARDS IN ADA ACCESS LANES SHALL HAVE A 3" MINIMUM CLEARANCE BETWEEN BOLLARDS SO AS TO BE ADA COMPLIANT), SEE DETAIL 7C7.0
 - 5D. REMOVABLE PIPE BOLLARD (BOLLARDS SHALL HAVE A 3" MINIMUM CLEARANCE BETWEEN BOLLARDS SO AS TO BE ADA COMPLIANT), SEE DETAIL 10C7.0
 - 6D. CONCRETE SIDEWALK, SEE DETAIL 8C7.0
 - 7D. TYPE "B" INTEGRAL CURB AND GUTTER, SEE DETAIL 14C7.0
 - 8D. FIRE LANE MARKING, SEE DETAIL 11C7.0
 - 9D. HEAVY DUTY CONCRETE, SEE DETAIL 9C7.0
 - 10D. REGULAR DUTY CONCRETE, SEE DETAIL 9C7.0
 - 11D. SITE SIGN BASE DETAIL, SEE DETAIL 4C7.0
 - 12D. CONCRETE FLUME, SEE DETAIL 17C7.0
 - 13D. NOT USED
 - 14D. TYPICAL COMBINED CURB & GUTTER, SEE CITY DETAIL S11-01C7.4 (FOR CURB WITHIN THE RIGHT-OF-WAY)
 - 15D. 6" CONCRETE SIDEWALK, SEE CITY DETAIL SW1-02B7.4
 - 16D. 6" SIDEWALK AMBULATORY RAMP AT STREET INTERSECTION & DRIVES, SEE CITY DETAIL SW3-04C7.4

HFA
 ARCHITECTS
 ENGINEERS
 INTERIORS

HARRISON FRENCH & ASSOCIATES, L.P.

1705 S. Walton Blvd., Suite 3
 Bentonville, Arkansas 72712
 t 479.273.7780
 f 479.273.9436
 www.hfa-ac.com

STIPULATION FOR REUSE
 THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC PROJECT AND IS NOT TO BE REUSED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF HARRISON FRENCH & ASSOCIATES, L.P. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF HARRISON FRENCH & ASSOCIATES, L.P. IS STRICTLY PROHIBITED AND WILL BE CONSIDERED A VIOLATION OF THE PROFESSIONAL ETHICS OF THE ARCHITECTURAL AND ENGINEERING PROFESSIONS.

stripes.

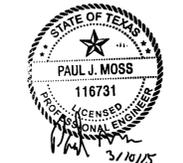
STORE 2474
 4500 BOONVILLE ROAD
 BRYAN, TX 77802

PROJ NUMBER: 10-15-00024

ISSUE BLOCK

NO.	TITLE	DATE
95X		10/27/14
100X		11/10/14
OTP		12/15/14
CCR1		2/18/15
CCR2		3/6/15

STORE NO.: 2474
 DOCUMENT DATE: 3/5/2015
 CHECKED BY: PJM
 DRAWN BY: CLM

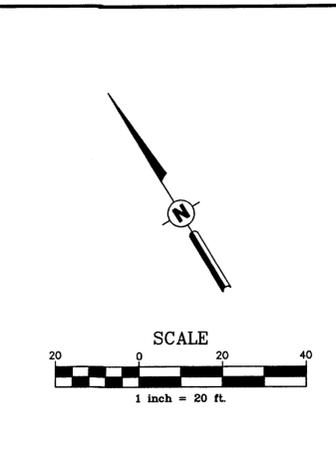
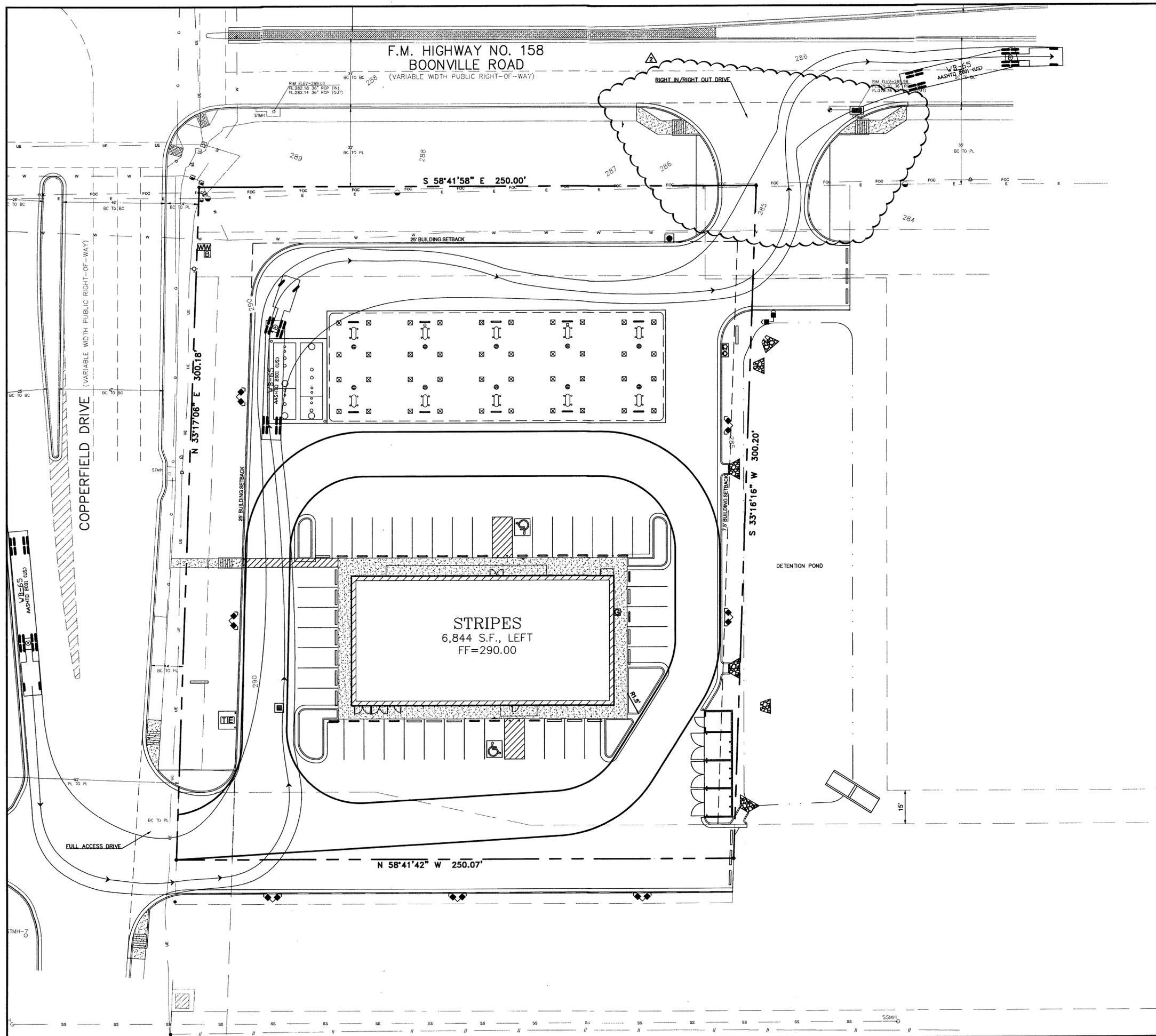


FOR PERMIT
 TEXAS COA
 #F-8576

SITE PLAN

SHEET:
C1.0

Mar06,2015-9:01am - User: cheryl.mcguire
 I:\0\10-15-00024 Bryan TX FM 138 and Copperfield Drive\Disciplines\Civil\Construction Documents\2015-3-4 (CCR 2)\10-15-00024 PROJ.dwg



- PROPOSED**
- PROPERTY LINE
 - ==== CURBING
 - ==== FIRE LANE
 - LIMITS OF PONDING
 - BUILDING CONTROL POINT
 - CURB INLET
 - ELECTRIC METER
 - GAS METER
 - PARKING COUNT
 - TRANSFORMER
 - WATER METER
 - BACKFLOW PREVENTER

- GENERAL SITE NOTES**
- UNLESS OTHERWISE SHOWN, ALL CURB RADII SHALL BE 2' OR 10'.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL CURBING SHALL BE TYPE B PER DETAIL TYPE B CURB, UNLESS OTHERWISE NOTED.
 - ALL WORK AND MATERIALS SHALL COMPLY WITH ALL LOCAL REGULATIONS AND O.S.H.A. STANDARDS.
 - CONTRACTOR SHALL REFER TO ARCHITECT PLANS FOR EXACT BUILDING DIMENSIONS AND UTILITY ENTRANCE LOCATIONS.
 - CONTRACTOR SHALL REFER TO SPECIFICATIONS AND GEOTECHNICAL REPORT DETAILS FOR PAVING DESIGN AND PROPER MATERIALS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SITE UNTIL WORK IS ACCEPTED BY THE OWNER.
 - ALL SIGNS SHALL BE PER MUTCD.
 - CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING ADEQUATE TRAFFIC CONTROL THROUGHOUT THE PROJECT, INCLUDING PROPER TRAFFIC CONTROL DEVICES AND/OR PERSONNEL AS REQUIRED. THIS INCLUDES BOTH VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH M.U.T.C.D.
 - ALL SIGNAGE WILL BE PERMITTED SEPARATELY.

- NOTES**
- TAPER CURB TO MATCH EXISTING
 - TAPER CURB FROM 6" TO 0" OVER 2'
 - UNDERGROUND STORAGE TANKS (PER FUELING PLANS)
 - FUELING CANOPY (PER FUELING PLANS)
 - PYLON SIGN (PER SIGN PLANS)
 - DUMPSTER PAD
 - LIGHTING (PER LIGHTING PLAN)
 - SAW CUT LINE - PROPOSED PAVING TO MATCH EXISTING ELEVATIONS
 - CONCRETE PAVING BY OTHERS
 - AIR / WATER EQUIPMENT LOCATION
 - BLUE RHINO PROPANE
 - TRANSFORMER PAD

- DETAILS**
- PARKING LOT STRIPING, SEE DETAIL 3C7.0
 - PRECAST CONCRETE WHEEL STOP, SEE DETAIL 2C7.0
 - U - PIPE BOLLARD, SEE DETAIL 16C7.0
 - PIPE BOLLARD (BOLLARDS IN ADA ACCESS LANES SHALL HAVE A 3" MINIMUM CLEARANCE BETWEEN BOLLARDS SO AS TO BE ADA COMPLIANT), SEE DETAIL 7C7.0
 - REMOVABLE PIPE BOLLARD (BOLLARDS SHALL HAVE A 3" MINIMUM CLEARANCE BETWEEN BOLLARDS SO AS TO BE ADA COMPLIANT), SEE DETAIL 10C7.0
 - CONCRETE SIDEWALK, SEE DETAIL 8C7.0
 - TYPE "B" INTEGRAL CURB AND GUTTER, SEE DETAIL 14C7.0
 - FIRE LANE MARKING, SEE DETAIL 11C7.0
 - HEAVY DUTY CONCRETE, SEE DETAIL 9C7.0
 - REGULAR DUTY CONCRETE, SEE DETAIL 9C7.0
 - SITE SIGN BASE DETAIL, SEE DETAIL 4C7.0
 - CONCRETE FLUME, SEE DETAIL 17C7.0
 - NOT USED
 - TYPICAL COMBINED CURB & GUTTER, SEE CITY DETAIL ST1-01C7.4 (FOR CURB WITHIN THE RIGHT-OF-WAY)
 - CONCRETE SIDEWALK, SEE CITY DETAIL SW1-02B7.4
 - SIDEWALK AMBULATORY RAMP AT STREET INTERSECTION & DRIVES, SEE CITY DETAIL SW3-04C7.4

HFA
 ARCHITECTS
 ENGINEERS
 INTERIORS

HARRISON FRENCH
 & ASSOCIATES, L.P.

1705 S. Walton Blvd., Suite 3
 Bentonville, Arkansas 72712
 t 479.273.7780
 f 479.273.9436
 www.hfa-ac.com

STIPULATION FOR REUSE
 THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC SITE AT: [REDACTED]
 CONTRACTOR'S RESPONSIBILITY WITH ITS ISSUE DATE: 3/5/2015
 ANY REUSE OF THIS DRAWING ON A PROJECT OTHER THAN THE PROJECT FOR WHICH IT WAS PREPARED, WITHOUT THE WRITTEN PERMISSION OF HARRISON FRENCH & ASSOCIATES, L.P., IS PROHIBITED. REPRODUCTION OF THIS DRAWING FOR ANY OTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONSIDERED A VIOLATION OF THE PROFESSIONAL ENGINEERING AND ARCHITECTURE ACTS.

stripes.

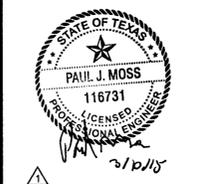
STORE 2474
 4800 BOONVILLE ROAD
 BRYAN, TX 77802

PROJ. NUMBER: 10-15-00024

ISSUE BLOCK

△	TITLE	DATE
95%		10/27/14
100%		11/10/14
OTF		12/15/14
CCR1		2/18/15
CCR2		3/6/15

STORE NO.: 2474
 DOCUMENT DATE: 3/5/2015
 CHECKED BY: PJM
 DRAWN BY: CLM

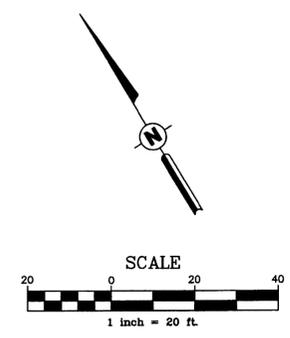
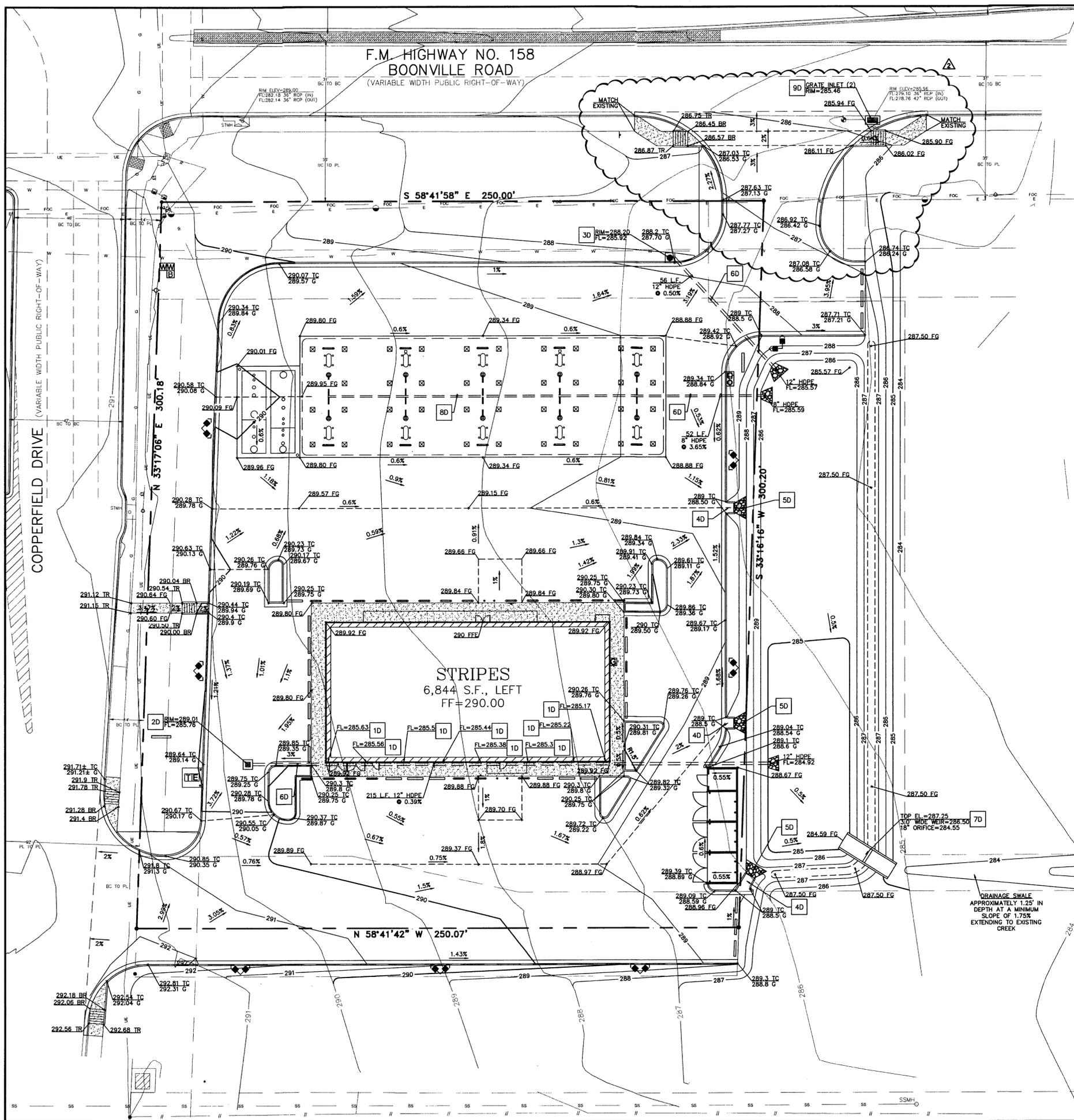


FOR PERMIT
 TEXAS COA
 #F-8576

TRAFFIC CIRCULATION PLAN

SHEET:
C1.2

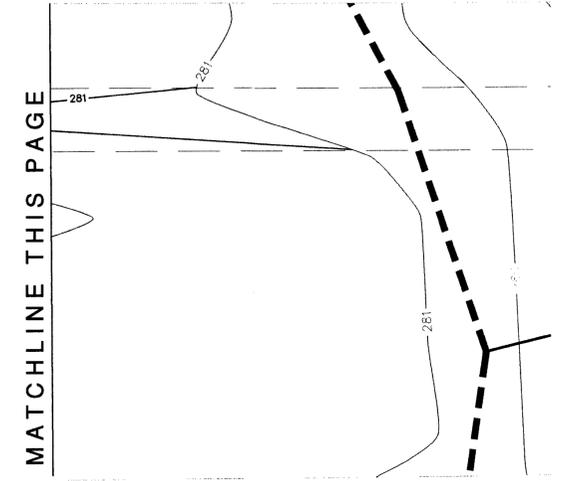
Mar06:2015-9:08am - User: cheryl.mcaquire
 I:\10\10-15-00024-Bryan, TX, FM 158 and Copperfield Drive Disciplines\Civil\Construction Documents\2015-3-4 (CCR 2)\10-15-00024 PROJ.dwg



- PROPOSED**
- PROPERTY LINE
 - - - BREAKLINE
 - - - STORM SEWER
- XXX.XX SPOT ELEVATION
 FFE FINISHED FLOOR ELEVATION
 FG FINISHED GRADE
 G GUTTER
 TC TOP OF CURB
 FL FLOWLINE
 TR TOP OF RAMP
 BR BOTTOM OF RAMP
 TS TOP OF SIDEWALK

- GENERAL GRADING NOTES**
- ALL STORM PIPE MATERIAL SHALL COMPLY WITH LOCAL REGULATIONS.
 - CONTRACTOR SHALL INSURE THAT ALL STORM PIPE CONNECTIONS ARE WATER TIGHT.
 - ALL STORM SEWER STRUCTURES PLACED IN A PAVED AREA SHALL BE FLUSH WITH FINISH GRADE AND SHALL HAVE A TRAFFIC BEARING FRAME AND LID. ALL STORM SEWER STRUCTURES PLACED IN UNPAVED AREAS SHALL BE 6 INCHES ABOVE FINISH GRADE, UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR PAVED AND UNPAVED AREAS.
 - ALL STORM STRUCTURES SHALL HAVE A UNIFORM SMOOTH POURED MORTAR SLOPE FROM INVERT IN TO INVERT OUT.
 - ALL STORM SEWER TRENCHING AND BEDDING SHALL BE PER THE STORM SEWER TRENCH AND BEDDING DETAIL.
 - PIPE LENGTHS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY, BASED UPON FIELD CONDITIONS, EXACT LENGTHS OF PIPES NECESSARY FOR CONNECTIONS. IF LENGTH SHOWN VARIES SIGNIFICANTLY COMPARED TO FIELD CONDITIONS, CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD PRIOR TO ORDERING MATERIAL AND INSTALLATION.

- NOTES**
- IN. SAWCUT LINE/MATCH EXISTING ELEVATIONS
- DETAILS**
- DOWNSPOUT CONNECTION TO STORM PIPE, SEE DETAIL 10C7.1
 - GRATED INLET, SEE DETAIL 5C7.1
 - CURB INLET, SEE DETAIL 3C7.1
 - CONCRETE FLUME, SEE DETAIL 17C7.0
 - EDGE TREATMENT FOR CURB CUTS, SEE DETAIL 6C7.1
 - STORM SEWER TRENCH & BEDDING, SEE DETAIL 4C7.1
 - DETENTION OUTLET STRUCTURE, SEE DETAIL 2C7.1
 - CANOPY DOWNSPOUT CONNECTION DETAIL, SEE DETAIL 5C7.2
 - TWOOT INLET CONVERSIONS, SEE DETAIL 6C7.2



HFA
 ARCHITECTS
 ENGINEERS
 INTERIORS

HARRISON FRENCH
 & ASSOCIATES, L.P.

1705 S. Walton Blvd., Suite 3
 Bentonville, Arkansas 72712
 t 479.273.7780
 f 479.273.9436
 www.hfa-ac.com

STIPULATION FOR REUSE
 THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC PROJECT AND IS NOT TO BE REUSED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF HFA. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF HFA SHALL BE CONSIDERED A VIOLATION OF THE PROFESSIONAL ENGINEERING AND ARCHITECTURAL BOARDS OF THE STATE OF ARKANSAS AND MAY BE CONSIDERED A VIOLATION OF THE LAW.

stripes

STORE 2474
 4500 BOONVILLE ROAD
 BRYAN, TX 77802

PROJ NUMBER: 10-15-00024

ISSUE BLOCK

NO.	TITLE	DATE
95%		10/27/14
100%		11/10/14
OTF		12/15/14
CCR1		2/18/15
CCR2		3/6/15

STORE NO.: 2474
 DOCUMENT DATE: 3/5/2015
 CHECKED BY: PJM
 DRAWN BY: CLM

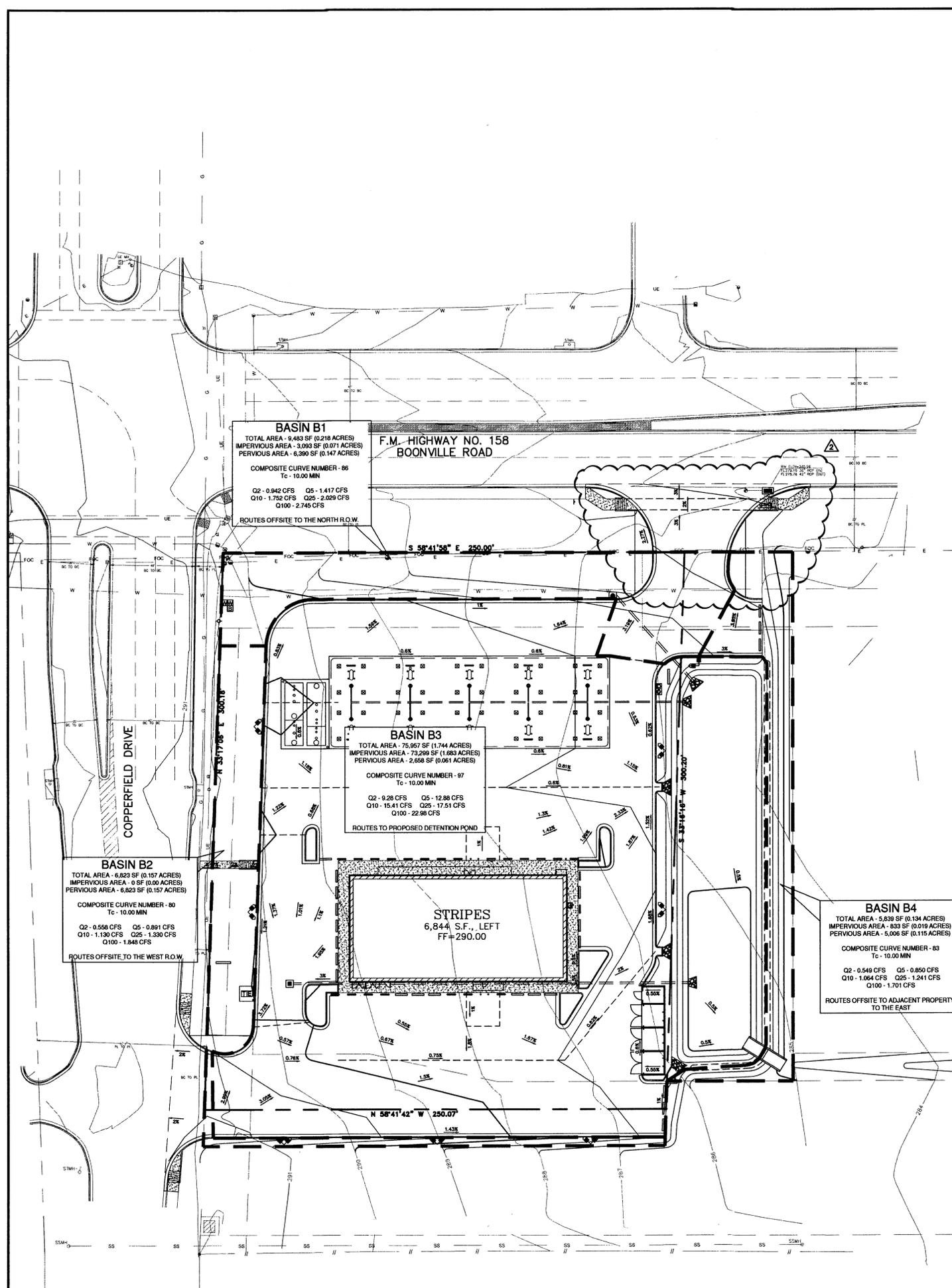
STATE OF TEXAS
 PAUL J. MOSS
 116731
 LICENSED PROFESSIONAL ENGINEER

FOR PERMIT
 TEXAS COA
 #F-8576

GRADING
 PLAN

SHEET:
C2.0

Mar06,2015 - 9:28am - User: ebraylpm@regis...
 I:\0\10-15-00024_Bryan_Tx_Plan_136 and Copperfield Drive\Disciplines\Civil\Construction Documents\2015-3-4 (CSR 2)\10-15-00024 PROJ.dwg



BASIN B1
 TOTAL AREA - 9,493 SF (0.218 ACRES)
 IMPERVIOUS AREA - 3,093 SF (0.071 ACRES)
 PERVIOUS AREA - 6,390 SF (0.147 ACRES)
 COMPOSITE CURVE NUMBER - 86
 Tc - 10.00 MIN
 Q2 - 0.842 CFS Q5 - 1.417 CFS
 Q10 - 1.752 CFS Q25 - 2.029 CFS
 Q100 - 2.745 CFS
 ROUTES OFFSITE TO THE NORTH R.O.W.

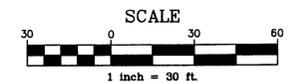
F.M. HIGHWAY NO. 158
 BOONVILLE ROAD

BASIN B3
 TOTAL AREA - 75,957 SF (1.744 ACRES)
 IMPERVIOUS AREA - 73,299 SF (1.683 ACRES)
 PERVIOUS AREA - 2,658 SF (0.061 ACRES)
 COMPOSITE CURVE NUMBER - 97
 Tc - 10.00 MIN
 Q2 - 9.28 CFS Q5 - 12.88 CFS
 Q10 - 15.41 CFS Q25 - 17.51 CFS
 Q100 - 22.98 CFS
 ROUTES TO PROPOSED DETENTION POND

BASIN B2
 TOTAL AREA - 6,823 SF (0.157 ACRES)
 IMPERVIOUS AREA - 0 SF (0.00 ACRES)
 PERVIOUS AREA - 6,823 SF (0.157 ACRES)
 COMPOSITE CURVE NUMBER - 80
 Tc - 10.00 MIN
 Q2 - 0.558 CFS Q5 - 0.891 CFS
 Q10 - 1.130 CFS Q25 - 1.330 CFS
 Q100 - 1.848 CFS
 ROUTES OFFSITE TO THE WEST R.O.W.

STRIPES
 6,844 SF., LEFT
 FF=290.00

BASIN B4
 TOTAL AREA - 5,839 SF (0.134 ACRES)
 IMPERVIOUS AREA - 833 SF (0.019 ACRES)
 PERVIOUS AREA - 5,006 SF (0.115 ACRES)
 COMPOSITE CURVE NUMBER - 83
 Tc - 10.00 MIN
 Q2 - 0.548 CFS Q5 - 0.850 CFS
 Q10 - 1.064 CFS Q25 - 1.241 CFS
 Q100 - 1.701 CFS
 ROUTES OFFSITE TO ADJACENT PROPERTY TO THE EAST



- PROPOSED
- — — — — PROPERTY LINE
 - - - - - BREAKLINE
 - — — — — STORM SEWER
 - — — — — DRAINAGE BASIN BOUNDARY

GENERAL GRADING NOTES

1. ALL STORM PIPE MATERIAL SHALL COMPLY WITH LOCAL REGULATIONS.
2. CONTRACTOR SHALL INSURE THAT ALL STORM PIPE CONNECTIONS ARE WATER TIGHT.
3. ALL STORM SEWER STRUCTURES PLACED IN A PAVED AREA SHALL BE FLUSH WITH FINISH GRADE AND SHALL HAVE A TRAFFIC BEARING FRAME AND LID. ALL STORM SEWER STRUCTURES PLACED IN UNPAVED AREAS SHALL BE 6 INCHES ABOVE FINISH GRADE, UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR PAVED AND UNPAVED AREAS.
5. ALL STORM STRUCTURES SHALL HAVE A UNIFORM SMOOTH POURED MORTAR SLOPE FROM INVERT IN TO INVERT OUT.
6. ALL STORM TRENCHING AND BEDDING SHALL BE PER THE STORM SEWER TRENCH AND BEDDING DETAIL.
7. PIPE LENGTHS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY, BASED UPON FIELD CONDITIONS, EXACT LENGTHS OF PIPES NECESSARY FOR CONNECTIONS. IF LENGTH SHOWN VARIES SIGNIFICANTLY COMPARED TO FIELD CONDITIONS, CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD PRIOR TO ORDERING MATERIAL AND INSTALLATION.

1

Hydrograph Return Period Recap
 Hydraulic Hydrographs Extension for AutoCAD® Civil 3D® 2015 by Autodesk, Inc. v10.4

Hyd. No.	Hydrograph type (origin)	Inflow hydro(s)	Peak Outflow (cfs)							Hydrograph Description	
			1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr		100-yr
1	SCS Runoff	—	—	5.930	—	9.531	12.12	14.29	—	19.91	Pre Basin A
2	SCS Runoff	—	—	0.942	—	1.417	1.752	2.029	—	2.745	Post Basin B1
3	SCS Runoff	—	—	0.558	—	0.861	1.130	1.330	—	1.848	Post Basin B2
4	SCS Runoff	—	—	9.280	—	12.88	15.41	17.51	—	22.98	Post Basin B3
5	SCS Runoff	—	—	0.549	—	0.850	1.064	1.241	—	1.701	Post Basin B4
6	Reservoir	4	—	3.452	—	6.487	8.131	9.708	—	14.33	Detention Pond
7	Combine	2, 3, 5, 6	—	5.155	—	8.571	10.89	12.81	—	18.91	Post Release

HFA
 ARCHITECTS
 ENGINEERS
 INTERIORS
 & ASSOCIATES, L.P.
HARRISON FRENCH
 & ASSOCIATES, L.P.
 1705 S. Walton Blvd., Suite 3
 Bentonville, Arkansas 72712
 t 479.273.7780
 f 479.273.9436
 www.hfa-ac.com

STIPULATION FOR REUSE
 THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC PROJECT AND IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF HARRISON FRENCH & ASSOCIATES, L.P. ANY REUSE OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF HARRISON FRENCH & ASSOCIATES, L.P. WILL BE CONSIDERED A VIOLATION OF THE PROFESSIONAL ENGINEERING AND ARCHITECTURAL ETHICS.

stripes.
 STORE 2474
 4500 BOONVILLE ROAD
 BRYAN, TX 77802
 PROJ NUMBER: 10-15-00024

ISSUE BLOCK

TITLE	DATE
95%	10/27/14
100%	11/10/14
OTP	12/15/14
CCR1	2/18/15
CCR2	3/6/15

STORE NO.: 2474
 DOCUMENT DATE: 3/5/2015
 CHECKED BY: PJM
 DRAWN BY: CLM



FOR PERMIT
 TEXAS COA
 #F-8576

POST
 DRAINAGE
 PLAN

SHEET:
C2.2

BFE=278

Hydrograph Report

8

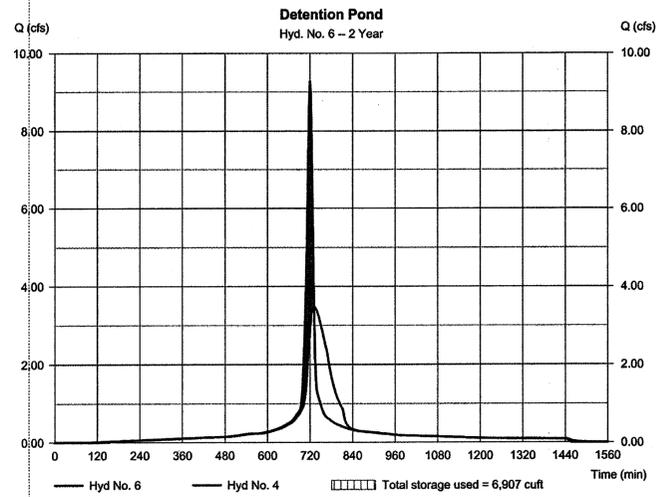
Hydroflow Hydrographs Extension for AutoCAD® Civil 3D® 2015 by Autodesk, Inc. v10.4 Wednesday, 02 / 18 / 2015

Hyd. No. 6

Detention Pond

Hydrograph type	= Reservoir	Peak discharge	= 3.452 cfs
Storm frequency	= 2 yrs	Time to peak	= 732 min
Time interval	= 2 min	Hyd. volume	= 27,021 cuft
Inflow hyd. No.	= 4 - Post Basin B3	Max. Elevation	= 286.02 ft
Reservoir name	= Pond 1	Max. Storage	= 6,907 cuft

Storage Indication method used.



Hydrograph Report

16

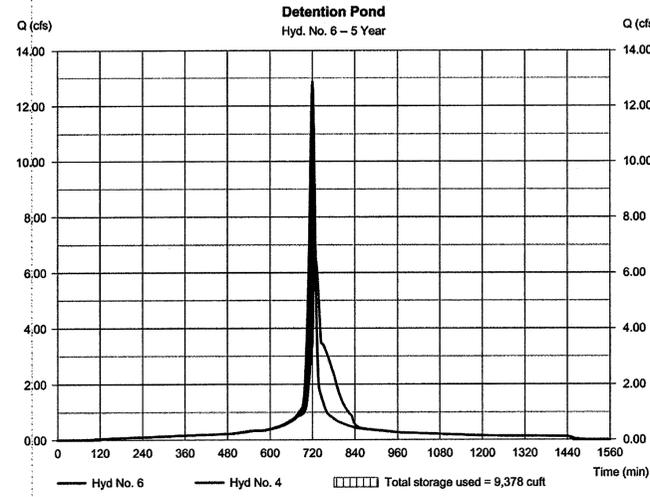
Hydroflow Hydrographs Extension for AutoCAD® Civil 3D® 2015 by Autodesk, Inc. v10.4 Wednesday, 02 / 18 / 2015

Hyd. No. 6

Detention Pond

Hydrograph type	= Reservoir	Peak discharge	= 6.497 cfs
Storm frequency	= 5 yrs	Time to peak	= 728 min
Time interval	= 2 min	Hyd. volume	= 38,060 cuft
Inflow hyd. No.	= 4 - Post Basin B3	Max. Elevation	= 286.31 ft
Reservoir name	= Pond 1	Max. Storage	= 9,378 cuft

Storage Indication method used.



Hydrograph Report

23

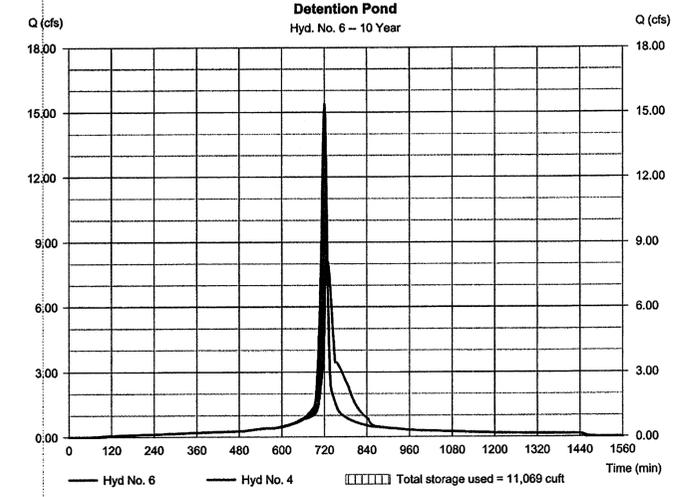
Hydroflow Hydrographs Extension for AutoCAD® Civil 3D® 2015 by Autodesk, Inc. v10.4 Wednesday, 02 / 18 / 2015

Hyd. No. 6

Detention Pond

Hydrograph type	= Reservoir	Peak discharge	= 8.131 cfs
Storm frequency	= 10 yrs	Time to peak	= 728 min
Time interval	= 2 min	Hyd. volume	= 45,861 cuft
Inflow hyd. No.	= 4 - Post Basin B3	Max. Elevation	= 286.51 ft
Reservoir name	= Pond 1	Max. Storage	= 11,069 cuft

Storage Indication method used.



Hydrograph Report

30

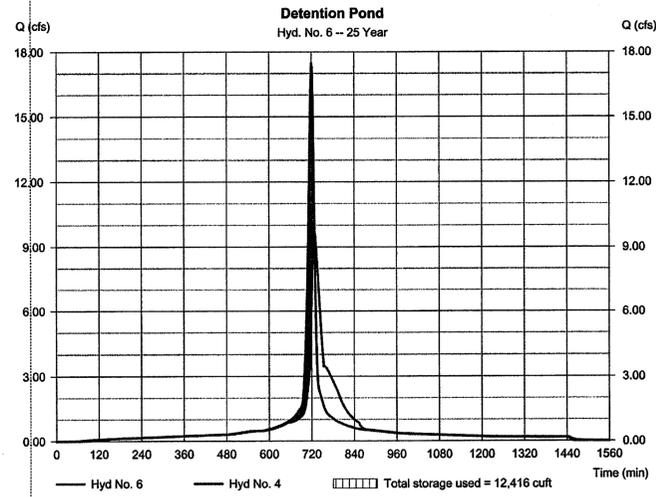
Hydroflow Hydrographs Extension for AutoCAD® Civil 3D® 2015 by Autodesk, Inc. v10.4 Wednesday, 02 / 18 / 2015

Hyd. No. 6

Detention Pond

Hydrograph type	= Reservoir	Peak discharge	= 9.708 cfs
Storm frequency	= 25 yrs	Time to peak	= 728 min
Time interval	= 2 min	Hyd. volume	= 52,365 cuft
Inflow hyd. No.	= 4 - Post Basin B3	Max. Elevation	= 286.65 ft
Reservoir name	= Pond 1	Max. Storage	= 12,416 cuft

Storage Indication method used.



Hydrograph Report

37

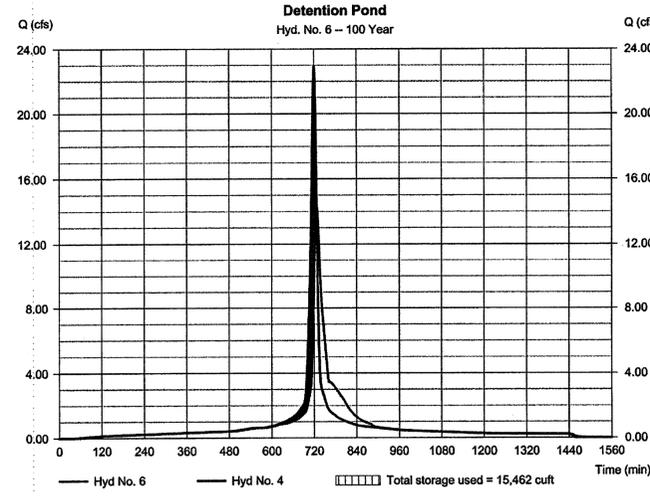
Hydroflow Hydrographs Extension for AutoCAD® Civil 3D® 2015 by Autodesk, Inc. v10.4 Wednesday, 02 / 18 / 2015

Hyd. No. 6

Detention Pond

Hydrograph type	= Reservoir	Peak discharge	= 14.33 cfs
Storm frequency	= 100 yrs	Time to peak	= 728 min
Time interval	= 2 min	Hyd. volume	= 69,283 cuft
Inflow hyd. No.	= 4 - Post Basin B3	Max. Elevation	= 286.99 ft
Reservoir name	= Pond 1	Max. Storage	= 15,462 cuft

Storage Indication method used.



Pond Report

9

Hydroflow Hydrographs Extension for AutoCAD® Civil 3D® 2015 by Autodesk, Inc. v10.4 Wednesday, 02 / 18 / 2015

Pond Data

Contours - User-defined contour areas. Conic method used for volume calculation. Beginning Elevation = 284.55 ft

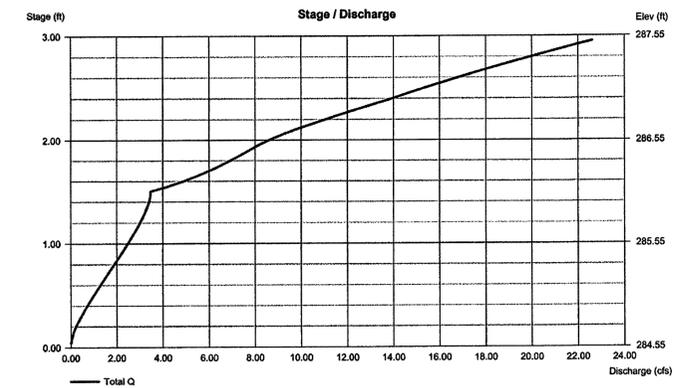
Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	284.55	0.00	0	0
0.45	285.00	2,926	439	439
0.95	285.50	7,362	2,492	2,931
1.45	286.00	8,127	3,875	6,807
1.95	286.50	8,852	4,243	11,050
2.45	287.00	9,603	4,812	15,862
2.95	287.50	10,359	4,969	20,830

Culvert / Orifice Structures

	[A]	[B]	[C]	[PrRer]		[A]	[B]	[C]	[D]
Rise (in)	= 18.00	0.00	0.00	0.00	Crest Len (ft)	= 3.00	0.00	0.00	0.00
Span (in)	= 18.00	0.00	0.00	0.00	Crest El. (ft)	= 286.50	0.00	0.00	0.00
No. Barrels	= 1	0	0	0	Weir Coeff.	= 3.33	3.33	3.33	3.33
Invert El. (ft)	= 284.55	0.00	0.00	0.00	Weir Type	= Rect	---	---	---
Length (ft)	= 10.00	0.00	0.00	0.00	Multi-Stage	= No	No	No	No
Slope (%)	= 1.00	0.00	0.00	n/a					
N-Value	= .013	.013	.013	n/a	Exfil. (in/hr)	= 0.000 (by Contour)			
Orifice Coeff.	= 0.60	0.60	0.60	0.60	TW Elev. (ft)	= 0.00			
Multi-Stage	= n/a	No	No	No					

Note: Culvert/Orifice outflows are analyzed under inlet (ci) and outlet (co) control. Weir rises checked for office conditions (ci) and submergence (ci).



HFA
ARCHITECTS
ENGINEERS
INTERIORS

HARRISON FRENCH
ASSOCIATES, L.P.

1705 S. Walton Blvd., Suite 3
Bentonville, Arkansas 72712
t 479.273.7780
f 479.273.9436
www.hfa-ac.com

STIPULATION FOR REUSE
THIS DOCUMENT IS NOT TO BE REUSED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF HARRISON FRENCH ASSOCIATES, L.P. AND IT IS NOT TO BE REUSED FOR USE ON A LATER DATE WITHOUT THE WRITTEN CONSENT OF HARRISON FRENCH ASSOCIATES, L.P. PROJECT REUSE OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF HARRISON FRENCH ASSOCIATES, L.P. IS STRICTLY PROHIBITED AND WILL BE CONSIDERED A VIOLATION OF THE LAW.

stripes

STORE 2474
4500 BOONVILLE ROAD
BRYAN, TX 77802

PROJ NUMBER: 10-15-00024

ISSUE BLOCK

NO.	TITLE	DATE
95R		10/27/14
100X		11/10/14
OTP		12/15/14
CCR1		2/18/15

STORE NO.: 2474
DOCUMENT DATE: 2/18/2015
CHECKED BY: PJM
DRAWN BY: CLM



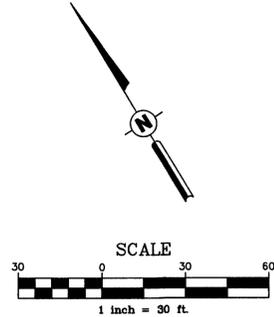
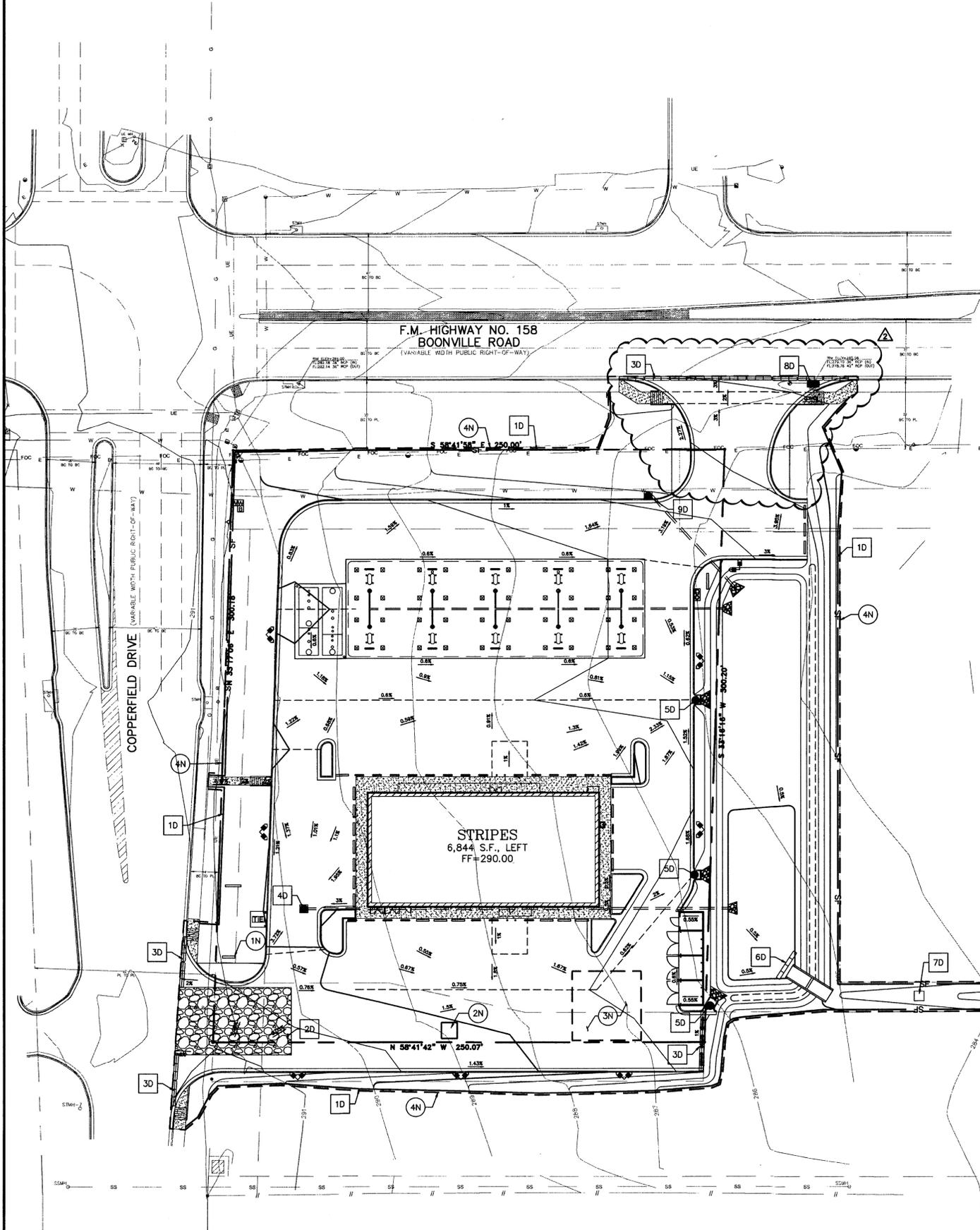
FOR PERMIT
TEXAS COA
#F-8576

POST
DRAINAGE
CALCULATIONS

SHEET:
C2.3

Feb18,2015-11:35am - User cheryl.mcguire
I:\10\10-15-00024 Bryan TX FM 158 and Copperfield Drive\Disciplines\Civil\Construction Documents\2015-1-14 (CCR 1)\10-15-00024 PROJ.dwg

Mar06:2015-9:24am - User: cheryl.mcquire
 I:\10\10-15-00024 Bryan TX FM 158 and Copperfield Drive Disciplines\Civil\Construction Documents\2015-3-4 (CR 2)\10-15-00024 PROJ.dwg



NOTES

- 1N. SWPPP SIGN
- 2N. CONCRETE WASHOUT AREA
- 3N. EQUIPMENT STORAGE AREA
- 4N. LIMITS OF CONSTRUCTION

DETAILS

- 1D. SILT FENCE ASSEMBLY, SEE DETAIL SWPPP-03C7.3
- 2D. CONSTRUCTION EXIT SILT CONTROL, SEE DETAIL SWPPP-02C7.3
- 3D. EROSION EEL & SEDIMENT BARRIER, SEE DETAIL 1C7.2
- 4D. BLOCK AND AGGREGATE INLET SEDIMENT DEVICE, SEE DETAIL 3C7.2
- 5D. BLOCK AND AGGREGATE FLUME SEDIMENT DEVICE, SEE DETAIL 4C7.2
- 6D. SILT DIKE CHECK DAM, SEE DETAIL 2C7.2
- 7D. EROSION CONTROL ALONG DITCH, SEE DETAIL SWPPP-01C7.3
- 8D. STORM DRAIN INLET PROTECTION, SEE DETAIL SWPPP-007.3
- 9D. BLOCK AND AGGREGATE CURB INLET SEDIMENT DEVICE, SEE DETAIL 7C7.2

CITY OF BRYAN NOTES:

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINMENT AND PROPER DISPOSAL OF ALL LIQUID AND SOLID WASTE ASSOCIATED WITH THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE OCCURRENCE OF WINDBLOWN LITTER FROM THE PROJECT SITE.
- 2. **DEMOLITION/CONSTRUCTION WASTE** - SITE IS REQUIRED TO PROVIDE CONTAINMENT FOR WASTE PRIOR TO AND DURING DEMOLITION/CONSTRUCTION. SOLID WASTE ROLL OFF BOXES AND/OR METAL DUMPSTERS SHALL BE SUPPLIED BY CITY OR CITY PERMITTED CONTRACTOR(S) ONLY.

GENERAL EROSION CONTROL NOTES

1. ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF TEXAS NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT.
2. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP AND THAT CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DIRECTED BY PERMITTING AGENCY AND OWNER OR AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
3. PERMIT FOR ANY CONSTRUCTION ACTIVITY MUST BE MAINTAINED ON SITE AT ALL TIMES.
4. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
5. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
6. ALL WASH WATER SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
7. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLotation BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
8. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
9. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
10. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
11. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 14 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
12. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE SOODED/LANDSCAPED PER PLANS. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
13. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
14. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
15. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
16. ON-SITE AND OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
17. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
18. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES TO PREVENT EROSION AND SEDIMENTATION.
19. CONTRACTOR SHALL DESIGNATE/IDENTIFY AREAS INSIDE THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
20. REFER TO SWPPP FOR REPORTABLE SPILL QUANTITIES OF PETROLEUM PRODUCTS AND/OR HAZARDOUS WASTES.
21. CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH THE EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.

BMP MAINTENANCE NOTES

ALL MEASURES STATED ON THESE PLANS AND IN THE SWPPP SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR COMPLETED PHASE OF WORK OF FINAL STABILIZATION OF THE SITE. SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONSTRUCTION GENERAL PERMIT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF DETERIORATION.
2. ALL SEEDED/SOODED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHALL BE FERTILIZED, WATERED AND REPAIRED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCE WHEN IT REACHES ONE-HALF THE HEIGHT OF THE FENCE.
4. THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF SEDIMENT FROM THE SITE. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE EXIT AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN A GOOD CONDITION. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE AREA AS CONDITIONS DEMAND.
6. PRIOR TO LEAVING THE SITE, ALL VEHICLES SHALL BE CLEANED OF DEBRIS. ANY DEBRIS AND/OR SEDIMENT LEAVING THE SITE SHALL BE CLEANED IMMEDIATELY.
7. ALL INLETS AND STORM DRAINS SHALL BE KEPT CLEAN OF DEBRIS AND SEDIMENT. ANY DEBRIS AND/OR SEDIMENT THAT ENTERS ANY INLET OR STORM DRAIN SHALL BE CLEANED IMMEDIATELY. FLUSHING SHALL NOT BE USED TO CLEAN DEBRIS AND/OR SEDIMENT FROM STORM DRAINS.

CONSTRUCTION SEQUENCE

1. CONDUCT PRE-CONSTRUCTION MEETING WITH THE CITY TO DISCUSS EROSION AND SEDIMENT CONTROLS AND CONSTRUCTION PHASING.
2. INSTALL STABILIZED CONSTRUCTION EXIT AND POST SWPPP AND SITE COMPLIANCE SIGNAGE PUBLICLY VISIBLE.
3. INSTALL CONSTRUCTION FENCES AND TEMPORARY TRAFFIC AND PEDESTRIAN CONTROL DEVICES.
4. PREPARE TEMPORARY PARKING AND STORAGE AREAS.
5. INSTALL SILT FENCE ON THE SITE AS SHOWN WITHIN THE CONSTRUCTION LIMITS.
6. DEMO EXISTING STRUCTURES, PAVEMENT, AND SPECIFIED UTILITIES.
7. UNDERCUT EXISTING POOR SOILS AS INDICATED IN THE GEOTECHNICAL REPORT.
8. BEGIN GRADING THE SITE.
9. BEGIN CONSTRUCTION OF UTILITIES.
10. BEGIN SUBGRADE PREPARATION AND CONSTRUCTION OF STRUCTURES.
11. BEGIN INSTALLATION OF CURB, GUTTER, AND PAVING.
12. COMPLETE PERMANENT STABILIZATION ON AREAS WHERE CONSTRUCTION HAS COMPLETED.
13. COMPLETE FINAL GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
14. OBTAIN CONCURRENCE FROM THE OWNER AND THE CITY THAT THE SITE HAS BEEN FULLY STABILIZED.
15. REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.
16. STABILIZE ALL AREAS DISTURBED BY BMP REMOVAL.

CONTRACTOR MAY COMPLETE CONSTRUCTION RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPs HAVE BEEN COMPLETELY INSTALLED.

THE ACTUAL SCHEDULE FOR IMPLEMENTING POLLUTANT CONTROL MEASURES WILL BE DETERMINED BY THE PROJECT CONSTRUCTION PROGRESS AND RECORDED BY THE GENERAL CONTRACTOR ON THESE PLANS.

HFA
 ARCHITECTS
 ENGINEERS
 INTERIORS

HARRISON FRENCH
 & ASSOCIATES, LTD

1705 S. Walton Blvd., Suite 3
 Bentonville, Arkansas 72712
 t 479.273.7780
 f 479.273.9436
 www.hfa-ae.com

STABILIZATION FOR REUSE
 ON A TEMPORARY SITE AT
 DATE ON 10/27/14
 AND IT IS NOT SUITABLE FOR USE ON A
 LATER DATE. THE USE OF THIS DRAWING FOR
 PROJECT PURPOSES REQUIRES THE SERVICES OF
 AN ENGINEER. THE REPRODUCTION OF THIS
 DRAWING FOR ANY OTHER PURPOSE IS NOT
 AUTHORIZED AND MAY BE CONSIDERED A VIOLATION OF THE LAW.

stripes

STORE 2474
 4300 BOONVILLE ROAD
 BRYAN, TX 77802

PROJ NUMBER: 10-15-00024

ISSUE BLOCK		
NO.	TITLE	DATE
1	95%	10/27/14
2	100%	11/10/14
3	OTF	12/15/14
4	CCR1	2/18/15
5	CCR2	3/6/15

STORE NO.: 2474
 DOCUMENT DATE: 3/5/2015
 CHECKED BY: PJM
 DRAWN BY: CLM

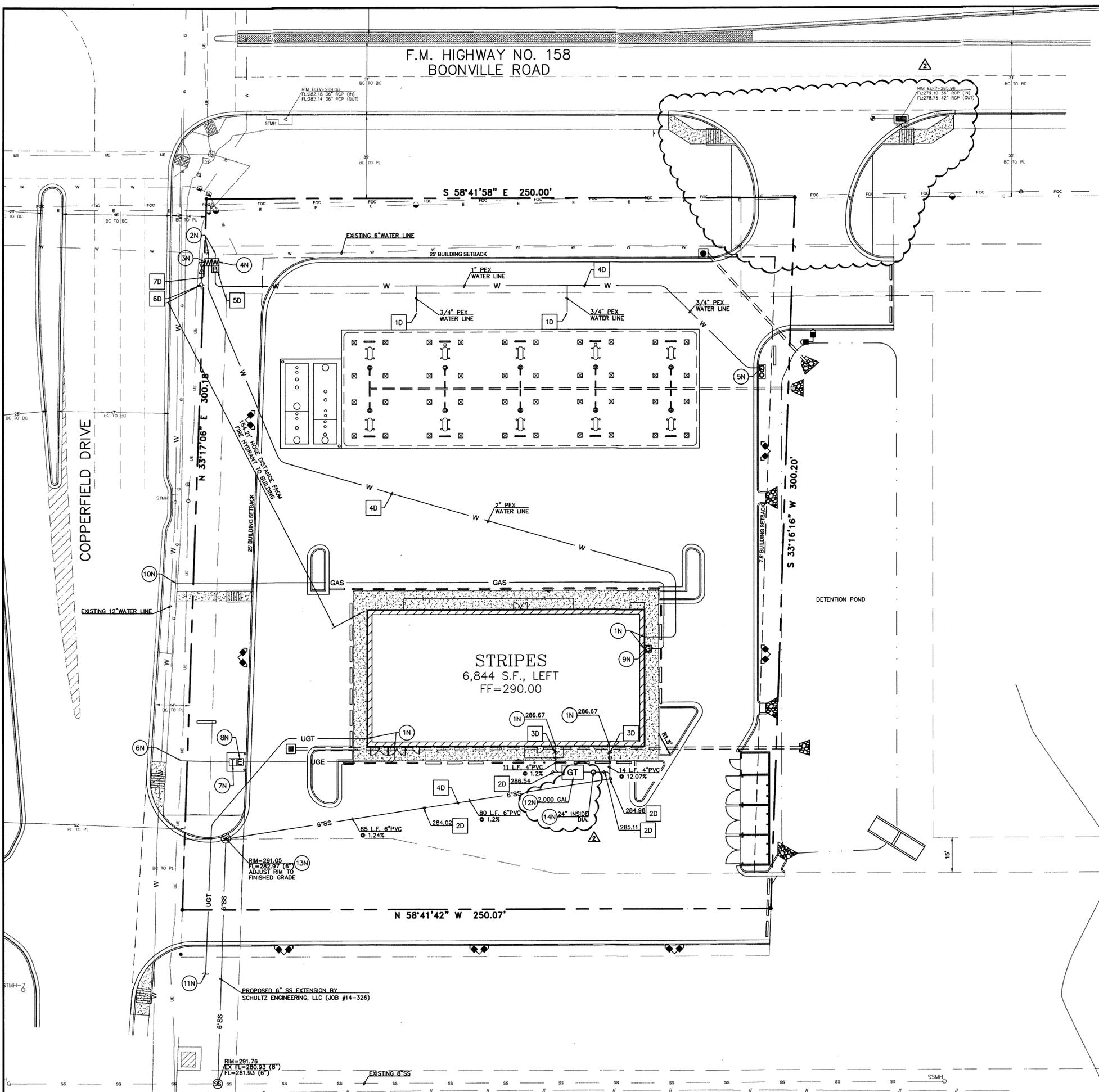
STATE OF TEXAS
 PAUL J. MOSS
 116731
 LICENSED PROFESSIONAL ENGINEER
 2/18/15

FOR PERMIT
 TEXAS COA
 #F-8576

EROSION &
 SEDIMENT
 CONTROL
 PLAN

SHEET:
C3.0

Mar06.2015-9:22am - User cherylmccquire
 I:\10\10-15-00024 Bryan TX FM 159 and Copperfield Drive Disciplines\Civil\Construction Documents\2015-3-4 (CCR 2), 10-15-00024 PRO.dwg



PROPOSED

---	PROPERTY LINE
W	WATERLINE
X"SS	SANITARY SEWER LINE
UGT	UNDERGROUND TELEPHONE
UGE	UNDERGROUND ELECTRIC
GAS	GAS LINE
---	STORM SEWER

- GENERAL UTILITY NOTES**
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND IS RESPONSIBLE TO REPAIR ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
 - ALL UTILITIES ARE SHOWN FROM INFORMATION GATHERED AND SHOULD NOT BE USED AS EXACT. CONTRACTOR SHALL VERIFY EXACT DEPTHS AND LOCATIONS PRIOR TO UTILITY INSTALLATION.
 - CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY FOR INSTALLATION AND SPECIFICATION REQUIREMENTS.
 - ALL PIPE MATERIALS SHALL COMPLY WITH LOCAL REGULATIONS.
 - ALL TRENCHING AND BEDDING SHALL BE PER THE UTILITY TRENCH AND BEDDING DETAIL.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ALL BUILDING UTILITY TIE INS.
 - ALL THRUST BLOCKING SHALL BE PER THE VERTICAL AND HORIZONTAL THRUST BLOCKING DETAILS.
 - PIPE LENGTHS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY BASED UPON FIELD CONDITIONS. EXACT LENGTHS OF PIPES NECESSARY FOR CONNECTIONS. IF LENGTH SHOWN VARIES SIGNIFICANTLY COMPARED TO FIELD CONDITIONS, CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD PRIOR TO ORDERING MATERIAL AND INSTALLATION.

- NOTES**
- CONNECT TO BUILDING
 - CONNECT TO EXISTING WATER MAIN
 - WATER METER
 - IRRIGATION METER
 - CONNECT WATER LINE TO AIR / WATER / VAC EQUIPMENT
 - CONNECT TO EXISTING UNDERGROUND ELECTRICAL SERVICE
 - PAD MOUNTED TRANSFORMER
 - ELECTRIC METER
 - GAS METER
 - CONNECT TO EXISTING GAS LINE
 - CONNECT TO EXISTING TELEPHONE LINE
 - GREASE TRAP (SEE MEP PLANS)
 - CONNECT TO PROPOSED SANITARY SEWER EXTENSION BY SCHULTZ ENGINEERING, LLC (JOB #14-326)
 - SAMPLE WELL (SEE MEP PLANS)

- DETAILS**
- GRADE MOUNTED HOSE BIB, SEE DETAIL 12C7.0
 - SANITARY SEWER CLEAN-OUT (SEE MEP PLANS FOR SCHEDULE), SEE DETAIL 13C7.0
 - TWO-WAY SANITARY SEWER CLEANOUT (SEE MEP PLANS FOR SCHEDULE), SEE DETAIL 19C7.0
 - UTILITY TRENCH AND BEDDING, SEE DETAIL SC7.0
 - DOUBLE CHECK VALVE ASSEMBLY, SEE DETAIL 18C7.0
 - STANDARD FIRE HYDRANT ASSEMBLY, SEE DETAIL W1-02C7.3
 - BEDDING AND TRENCH FOR DI PIPE & PVC PIPE WITHIN NON-STRUCTURAL OR NEW PAVED AREAS, SEE DETAIL W4-02C7.3

- CITY OF BRYAN NOTES:**
- IRRIGATION SYSTEM - POTABLE WATER SUPPLY MUST BE PROTECTED BY EITHER AN ATMOSPHERIC OR PRESSURE VACUUM BREAKER, OR TESTABLE DOUBLE CHECK VALVE ASSEMBLY, AND INSTALLED AS PER CITY ORDINANCE.
 - POTABLE WATER PROTECTION - ALL DEVICES, APPURTENANCES, APPLIANCES AND APPARATUS INTENDED TO SERVE SOME SPECIAL FUNCTION AND THAT CONNECTS TO THE WATER SUPPLY SYSTEM, SHALL BE PROVIDED WITH PROTECTION AGAINST BACKFLOW AND CONTAMINATION OF THE WATER SUPPLY SYSTEM.

HFA
 ARCHITECTS
 ENGINEERS
 INTERIORS

HARRISON FRENCH
 & ASSOCIATES, L.P.

1705 S. Walton Blvd., Suite 3
 Bentonville, Arkansas 72712
 t 479.273.7780
 f 479.273.9436
 www.hfa-ac.com

STIPULATION FOR REUSE
 THIS DRAWING WAS PREPARED FOR USE ON A BRYAN, TX 77802 CONTRACT. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF HARRISON FRENCH & ASSOCIATES, L.P. IS PROHIBITED. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF HARRISON FRENCH & ASSOCIATES, L.P. IS PROHIBITED.

stripes.

STORE 2474
 4300 BOONVILLE ROAD
 BRYAN, TX 77802

PROJ. NUMBER: 10-15-00024

ISSUE BLOCK

△	TITLE	DATE
95%		10/27/14
100%		11/10/14
OTD		12/15/14
△	CCR1	2/18/15
△	CCR2	3/6/15

STORE NO.: 2474
 DOCUMENT DATE: 3/5/2015
 CHECKED BY: PJM
 DRAWN BY: CLM

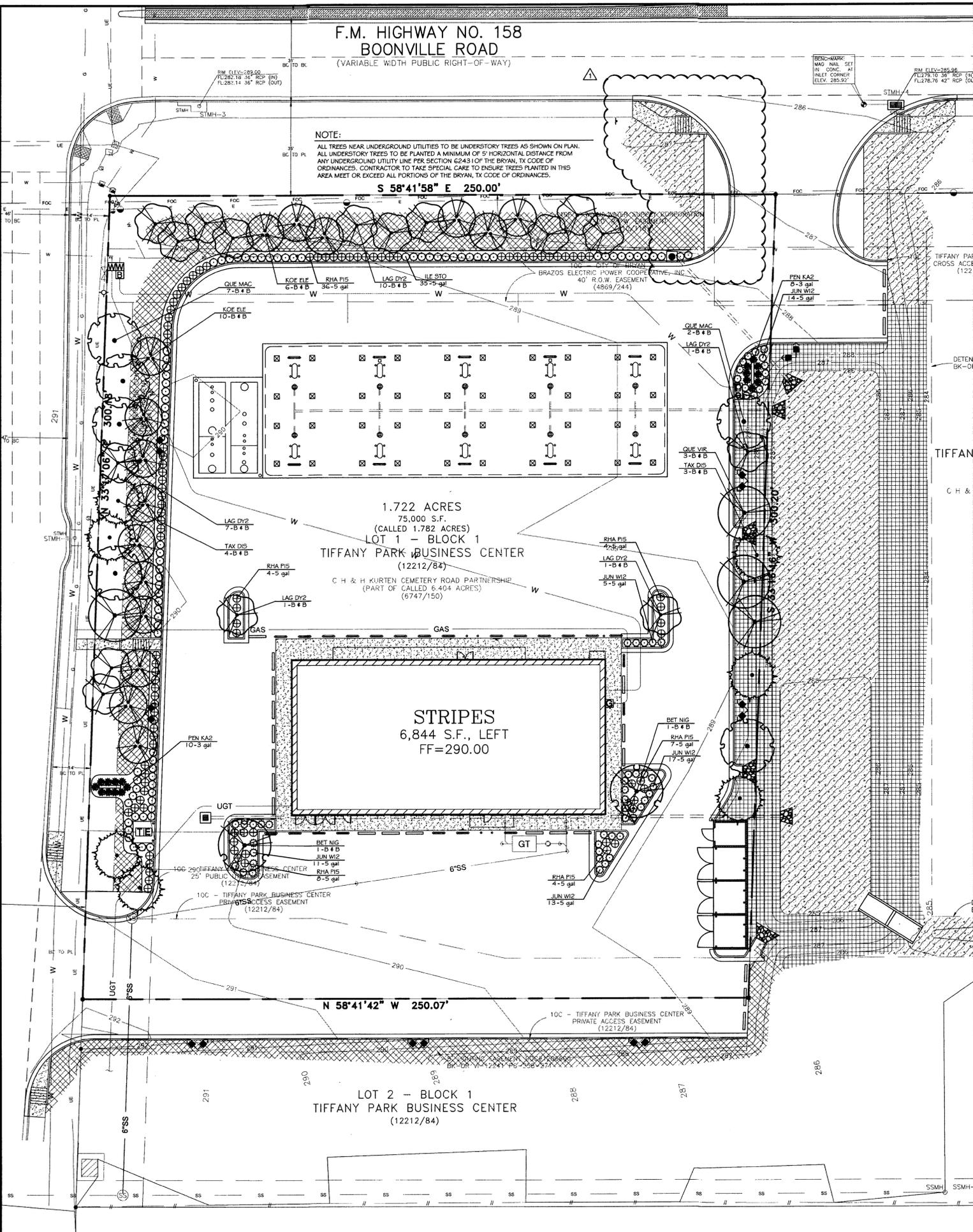


FOR PERMIT
 TEXAS COA
 #F-8576

UTILITY PLAN

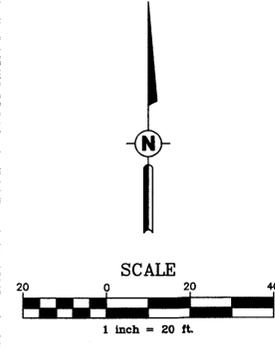
SHEET:
C4.0

Mar06.2015-10:04am - User: ryan.edwards
 I:\10\10-15-00024 Bryan TX FM 158 and Copperfield Drive\Disciplines\Civil\Construction Documents\2015-3-4 (CCR 2)\10-15-00024 LAND.dwg



PLANT SCHEDULE

CANOPY TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	BET NIG	2	River Birch Multi-Trunk / Betula nigra	B # B	2.5' Cal	8'
	QUE MAC	6	Burr Oak / Quercus macrocarpa	B # B	2.5' Cal	8'
	QUE VIR	4	Southern Live Oak / Quercus virginiana	B # B	2.5' Cal	8'
	TAX DIS	7	Bald Cypress / Taxodium distichum	B # B	2.5' Cal	8'
NONCANOPY TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	KOE ELE	16	Golden Rain Tree / Koelreuteria elegans	B # B	2.5' Cal	8'
	LAG DY2	16	Dynamite Crape Myrtle / Lagerstroemia indica 'Dynamite'	B # B	2.5' Cal	8'
SHRUBS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	ILE STO	81	Dwarf Yaupon / Ilex vomitoria 'Stokes Dwarf'	5 gal		
	JUN W12	53	Blue Rug Juniper / Juniperus horizontalis 'Wiltoni'	5 gal		
	RHA P15	97	Pink Lady Indian Hawthorn / Rhaphiolepis indica 'Pink Lady'	5 gal		
GRASSES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	FEN KA2	18	Fountain Grass / Pennisetum alopecuroides 'Fairy Rose'	3 gal		
GROUND COVERS	CODE	COMMON NAME / BOTANICAL NAME	CONT			
	BUC DAC	Buffalo Grass / Buchloe dactyloides	sod			
	CYN DAC	Bermuda Grass / Cynodon dactylon	sod			
	GRA SEE	Grass Seed Mix	seed			



GENERAL LANDSCAPE NOTES:

ALL PLANT MATERIALS SHALL ARRIVE AT THE SITE WITH SOIL MOIST.
 UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATED, AND SHOULD BE VERIFIED ON THE CIVIL UTILITY PLAN AND IN THE FIELD. CONTRACTORS SHALL HAVE UNDERGROUND UTILITIES LEGIBLY MARKED BEFORE BEGINNING INSTALLATION OF PLANT MATERIAL, AND SHALL REPAIR ANY AND ALL DAMAGE WHICH MAY OCCUR AS A RESULT OF LANDSCAPE INSTALLATION.
 ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAP AS INDICATED ON PLANT LIST.
 ALL TREES MUST BE STRAIGHT TRUNKED, FULL HEADED AND MEET ALL REQUIREMENTS AS SPECIFIED.
 ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AND/OR THE OWNER BEFORE, DURING AND AFTER INSTALLATION.
 ALL TREES SHALL BE PLANTED PER THE TREE PLANTING DETAIL, THIS SHEET. ALL SHRUBS SHALL BE PLANTED PER THE SHRUB PLANTING DETAIL, THIS SHEET.
 THE LANDSCAPE ARCHITECT MUST APPROVE ANY ALTERATIONS OR REVISIONS TO THE LANDSCAPE PLAN.
 THE CONTRACTOR SHALL PROTECT EXISTING FEATURES ON SITE.
 ALL DISTURBED AREAS ON SITE DESIGNATED TO BE SEED, SHALL BE COMPLETELY HYDROSEED WITH 75% PERENNIAL GULF RYE AND 25% BERMUDA GRASS SEED AT A RATE OF 5# PER 1,000 SQ. FT.
 SEEDING AREAS ARE TO BE WATERED ENOUGH TO MAINTAIN ADEQUATE SURFACE SOIL MOISTURE FOR PROPER SEED GERMINATION. WATERING SHALL CONTINUE FOR NOT LESS THAN 30 DAYS FOLLOWING SEEDING OR UNTIL A HEALTHY STAND OF GRASS, WITH 90% OR MORE COVERAGE, IS ACHIEVED. IMMEDIATELY FERTILIZE, AND MULCH DAMAGED AREAS OR ANY AREA THAT FAILS TO ACHIEVE THE COVERAGE SPECIFIED ABOVE UNTIL A HEALTHY STAND OF GRASS, WITH 90% OR MORE COVERAGE, IS ACHIEVED.
 ALL SOD AREAS SHALL BE GRADED SMOOTH TO ALLOW FOR COMPLETE CONTACT BETWEEN SOD AND SOIL. SOD SHALL BE WATERED REGULARLY, DEPENDING ON WEATHER AND SEASON, SO AS NOT TO ALLOW SOIL TO DRY OUT AND ALLOW FOR SOD TOP TO BE ESTABLISHED. ANY SODDED AREAS THAT DO NOT ESTABLISH BEFORE ACCEPTANCE BY OWNER SHALL BE RE-SODDED AS PER ABOVE AT NOT COST TO OWNER.
 SOIL AMENDMENTS
 APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 1 LB PER 1,000 SQ. FT. GROUND AGRICULTURAL QUALITY LIMESTONE AND 1 LB PER 1,000 SQ. FT. 31-3-10 TYPE 15 TOP DRESSING FERTILIZER THOROUGHLY WATERED INTO THE SOIL.
 THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THESE PLANS, BEFORE PRICING THE WORK.
 THE LANDSCAPE CONTRACTOR SHALL FULLY MAINTAIN ALL PLANTING (INCLUDING BUT NOT LIMITED TO WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF PLANTING AREAS AND LAWNS FOR 90 DAYS AFTER SUBSTANTIAL COMPLETION.
 THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR ONE (1) YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. THE LANDSCAPE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE THE END OF THE GUARANTEE PERIOD (AS PER DIRECTION OF THE OWNER).
 ANY PLANT MATERIAL WHICH DIES, TURNS BROWN OR DEFOOLIATES (PRIOR TO TOTAL ACCEPTANCE OF WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
 STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1) REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUMS QUALITY REQUIREMENTS FOR ALL NEW PLANT MATERIAL. ALL NEW PLANT MATERIAL SHALL BE PLANTED AND MAINTAINED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN NATIONAL STANDARDS INSTITUTE REQUIREMENTS FOR TREE, SHRUB, AND OTHER WOODY PLANT MAINTENANCE (ANSI Z300 PARTS 1 THROUGH 6).
 ALL TOPSOIL APPLIED TO THE SITE SHALL BE LOAMY, FRIABLE SOIL, CONTAINING A MINIMUM OF 1.5 PERCENT BY DRY WEIGHT ORGANIC MATTER, FREE FROM SUBSOIL, REFUSE, ROOTS, HEAVY OR STIFF CLAY, STONES LARGER THAN 25 MM (1 IN.), NOXIOUS SEEDS, STICKS, BRUSH, LITTER, AND OTHER DEleterious SUBSTANCES, SUITABLE FOR THE GERMINATION OF SEEDS AND THE SUPPORT OF VEGETATIVE GROWTH. THE PI VALUE SHALL BE BETWEEN 5.5 AND 6.5.
 LANDSCAPE EDGING TO BE "BEND A BOARD" EDGE 2"x4" SECTIONS AND SHALL BE BROWN IN COLOR (SEE DETAIL THIS SHEET).
 ALL AREAS DESIGNATED ON THIS PLAN TO RECEIVE DECORATIVE ROCK SHALL BE TOP DRESSED WITH 2"-3" BROWN, COLORADO BULL ROCK AT A MIN. 4" DEPTH ON DEWITT PRO 5 LANDSCAPE FABRIC. TOP ROCK SHALL BE EVEN WITH TOP OF CURBS OR EDGING. SEE CIVIL PLANS FOR ELEVATIONS. SECURE FABRIC WITH PINS OR STAPLES (2"x3"). PINS SHALL BE PLACED AT 5' O.C. AND JOINTS SHALL OVERLAP BY 12".

CITY PLANTING REQUIREMENTS:	REQ.	PROV.
17% OF DEVELOPED AREA SHALL BE LANDSCAPED SITE AREA = 75,000 SF x 0.17 = 12,750 SF (3,800 SF CANOPY TREES + 4,800 SF NON-CANOPY TREES + 2,470 SHRUBS + 1,687 GRASS AREA = 12,757 SF)	12,750 SF	12,757 SF
OPEN SPACE NOT LESS THAN 50% OF REQUIRED AREA TO BE PLANTED IN TREES REQUIRED AREA = 12,750 SF x 0.5 = 6,375 SF NOT LESS THAN 50% OF TREES PLANTED IN REQUIRED AREA TO BE CANOPY TREES REQUIRED TREE AREA = 6,375 SF x 0.5 = 3,188 SF SHRUBS AND PLANTING BEDS 2 GALLONS UP TO 15 GALLONS = 10 SF (247 SHRUBS * 10 SF = 2470) TEN SQUARE FEET WILL BE GRANTED FOR EVERY 100 SQUARE FEET OF GRASS OR LIVE GROUND COVER. THIS AMOUNT SHALL NOT EXCEED 15 PERCENT OF THE OVERALL LANDSCAPING REQUIRED.	6,375 SF	6,600 SF TOTAL 5,800 SF TOTAL (19 CANOPY TREES)
PARKING LOT LANDSCAPING 1 TREE IS REQUIRED FOR EVERY PARKING LOT END ISLAND 4 PARKING LOT END ISLANDS = 4 TREES ALL ISLANDS TO BE COVERED WITH SHRUBS, GRASS, OR LIVE GROUND COVER 3 TALL EVERGREEN HEDGE IS REQUIRED BETWEEN PARKING AREAS/FUELING AREAS AND ALL ROWS	4 TREES	4 TREES IN ISLANDS YES YES
LANDSCAPING AROUND SIGNS LANDSCAPE AREA EXTENDING 4' IN ALL DIRECTIONS FROM BASE OF SIGN 50% OF LANDSCAPE AROUND SIGN TO BE SHRUBS WITH THE REMAINDER PLANTED WITH LIVE GROUND COVER	YES YES	YES YES
SCREENING A DECORATIVE WALL OR LANDSCAPED EARTH BERM AT LEAST TWO FEET IN HEIGHT, OR DENSE SHRUBBERY HAVING YEAR-ROUND FOLIAGE AT LEAST THREE FEET IN HEIGHT, IS REQUIRED AS A VISUAL BUFFER ALONG STREET FRONTAGES.	YES	YES

*DETENTION AREA WILL BE APPROXIMATELY 18,600 SF OF PERMANENT GREENSPACE

HFA
 ARCHITECTS
 ENGINEERS
 INTERIORS
HARRISON FRENCH
 & ASSOCIATES, LTD.
 1705 S. Walton Blvd., Suite 3
 Bentonville, Arkansas 72712
 t 479.273.7780
 f 479.273.9436
 www.hfa-ac.com

STIPULATION FOR REUSE
 THIS DRAWING WAS PREPARED FOR THE
 CONTRACTOR'S USE ONLY. IT IS NOT TO BE
 REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF HARRISON FRENCH & ASSOCIATES, LTD. DATE: 08/16/2015

stripes
 STORE 2474
 4300 BOONVILLE ROAD
 BRYAN, TX 77802
 PROJ. NUMBER: 10-15-00024

ISSUE BLOCK

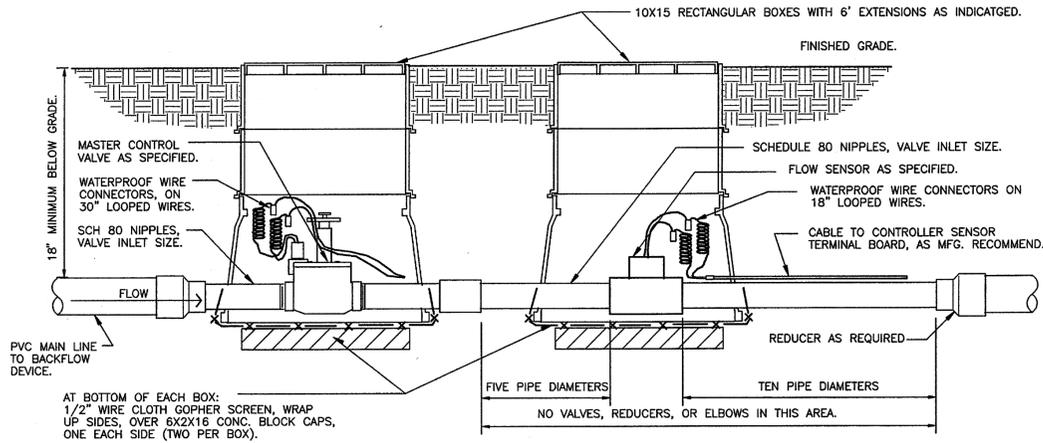
NO.	TITLE	DATE
95%		10/28/14
100%		11/12/14
OTP		12/15/14
CCR2		03/06/15

STORE NO.: 2474
 DOCUMENT DATE: 3/6/2015
 CHECKED BY: PJM
 DRAWN BY: JWG



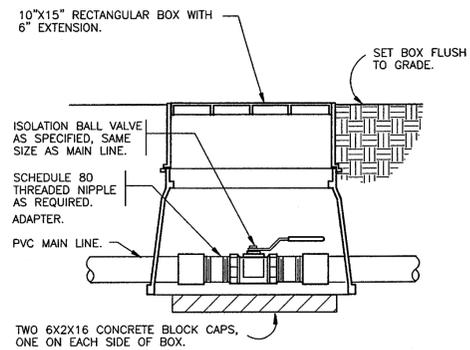
FOR PERMIT
LANDSCAPE PLAN
 SHEET: **C5.0**

Feb/23/2015-11:26am - User: pyn.edwards
I:\10\10-15-00024 Bryon TX FM 158 and Copperfield Drive Disciplines\Civil Construction Documents\2015-1-14 (CCR 1)\10-15-00024 LAND.dwg



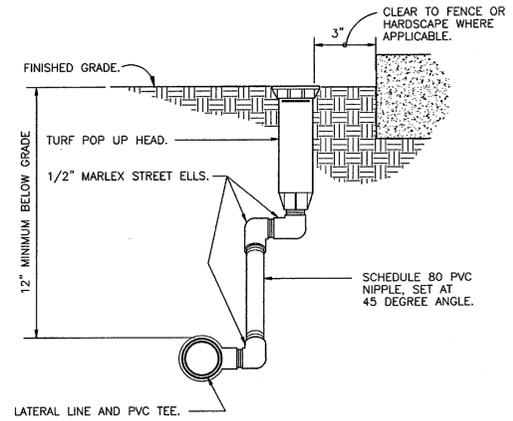
9 MASTER VALVE/FLOW SENSOR ASSEMBLY
1 1/2" = 1'-0"

328406.23-10



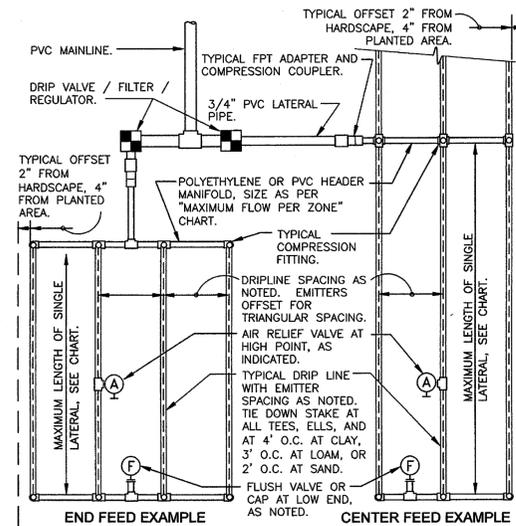
8 BRASS BALL ISOLATION VALVE
1 1/2" = 1'-0"

328406.33-03



7 TURF SPRAY MARLEX ASSEMBLY
3" = 1'-0"

328403.13-01



6 TYPICAL RAIN BIRD DRIPLINE REQUIREMENTS
N.T.S.

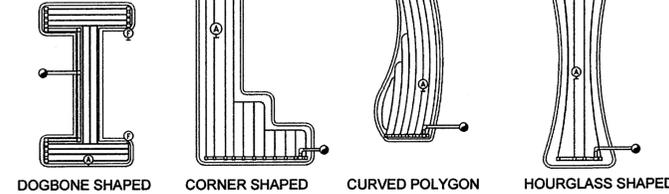
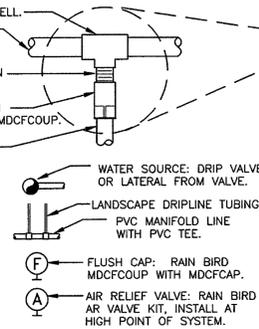
PSI	MAXIMUM LATERAL LENGTH (FEET)					
	12" SPACING		18" SPACING		24" SPACING	
10	125	96	175	135	218	171
20	249	191	350	171	442	340
30	307	238	434	333	550	422
40	350	268	495	380	627	171
50	125	96	175	135	218	171
60	125	96	175	135	218	171

EMITTER SPACING	LATERAL SPACING	GRID PRECIPITATION RATES (IN/HR)	
		0.6	0.9
12	12	0.96	1.44
18	18	0.69	1.03
24	24	0.28	0.41

EMITTER FLOW	SPACING	LATERAL FLOW PER 100 FT (GPM)	
		1.0 GPM	0.75 GPM
0.6 GPH	1.0 GPM	1.0 GPM	0.75 GPM
0.9 GPH	1.5 GPM	1.0 GPM	0.75 GPM

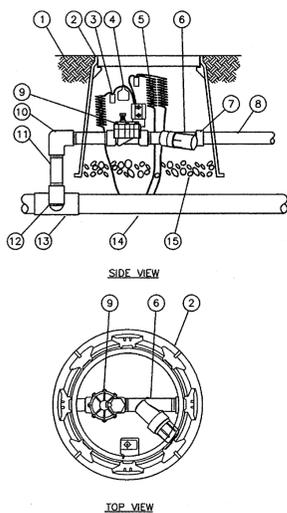
- SLOPED CONDITION NOTE:**
- DRIPLINE LATERALS SHOULD FOLLOW THE CONTOURS OF THE SLOPE WHENEVER POSSIBLE.
 - INSTALL AIR RELIEF VALVE AT HIGHEST POINT.
 - NORMAL SPACING WITHIN THE TOP 2/3 OF SLOPE.
 - INSTALL DRIPLINE AT 25% GREATER SPACING AT THE BOTTOM 1/3 OF THE SLOPE.
 - WHEN ELEVATION CHANGE IS 10 FT OR MORE, ZONE THE BOTTOM 1/3 ON A SEPARATE VALVE.

PVC SCH 40 TEE OR ELL.
PVC MANIFOLD LINE.
EASY FIT COMPRESSION ADAPTER.
EASY FIT COMPRESSION COUPLING: RAIN BIRD MDCFCOUP.
LANDSCAPE DRIPLINE TUBING.



5 ELECTRIC REMOTE CONTROL VALVE
1 1/2" = 1'-0"

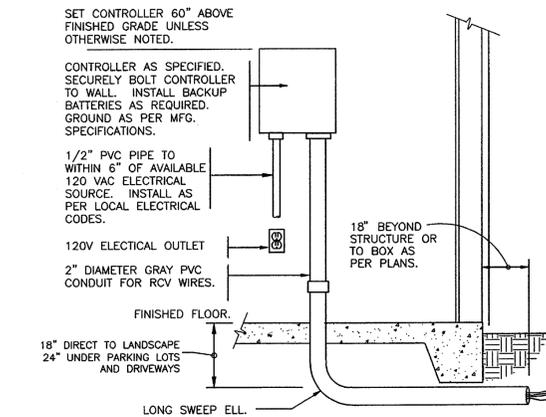
328413.56-01



4 RAINBIRD XCZ-100-PRF 1" CONTROL ZONE KIT
1 1/2" = 1'-0"

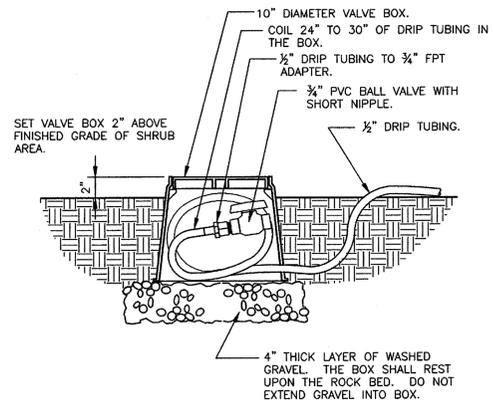
328406.13-05

- FINISH GRADE
- ROUND VALVE BOX WITH COVER: RAIN BIRD VB-10RD
- WATERPROOF CONNECTION: RAIN BIRD DB SERIES
- VALVE ID TAG
- 30-INCH LINEAR LENGTH OF WIRE, COILED
- PRESSURE REGULATING FILTER: RAIN BIRD PRF-100-RBY (INCLUDED IN XCZ-100-PRF KIT)
- PVC SCH 40 FEMALE ADAPTOR
- LATERAL PIPE
- REMOTE CONTROL VALVE: RAIN BIRD 100-DV (INCLUDED IN XCZ-100-PRF KIT)
- PVC SCH 40 ELL
- PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- PVC SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND PVC SCH 40 ELL
- PVC SCH 40 TEE OR ELL
- PVC MAINLINE
- 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL



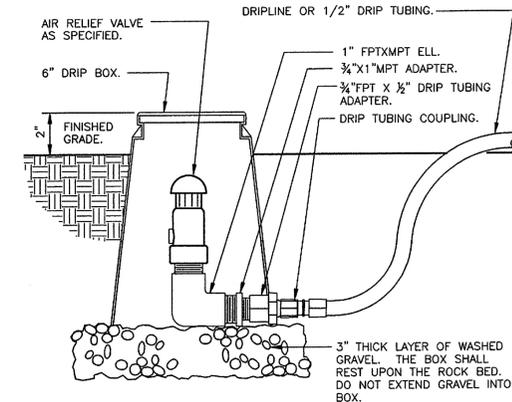
3 INTERIOR WALL MOUNT CONTROLLER
1" = 1'-0"

328409.13-07



2 DRIP FLUSH VALVE
1 1/2" = 1'-0"

328413.49-03



1 DRIP AIR RELIEF VALVE IN BOX
3" = 1'-0"

328413.53-03

HFA
ARCHITECTS
ENGINEERS
INTERIORS
HARRISON FRENCH & ASSOCIATES, LTD
1705 S. Walton Blvd, Suite 3
Bentonville, Arkansas 72712
t 479.273.7780
f 479.273.9436
www.hfa-ac.com

STIPULATION FOR REUSE
THIS DRAWING WAS PREPARED FOR USE ON A PROJECT BY HFA AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF HFA. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT, WITHOUT THE WRITTEN PERMISSION OF HFA, IS STRICTLY PROHIBITED. HARRISON FRENCH & ASSOCIATES, LTD. SHALL BE RESPONSIBLE FOR ANY REUSE OF THIS DRAWING THAT IS CONTRARY TO THE LAW.



stripes
STORE 2474
4500 BOONVILLE ROAD
BRYAN, TX 77802
PROJ NUMBER: 10-15-00024

ISSUE BLOCK	
DATE	TITLE
10/28/14	95%
11/12/14	100%
12/15/14	OTP

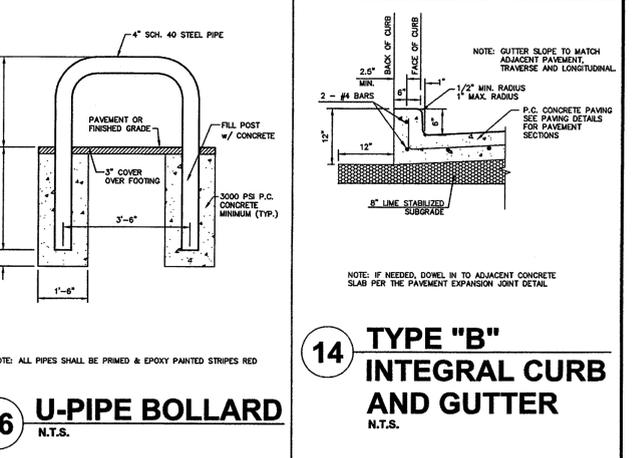
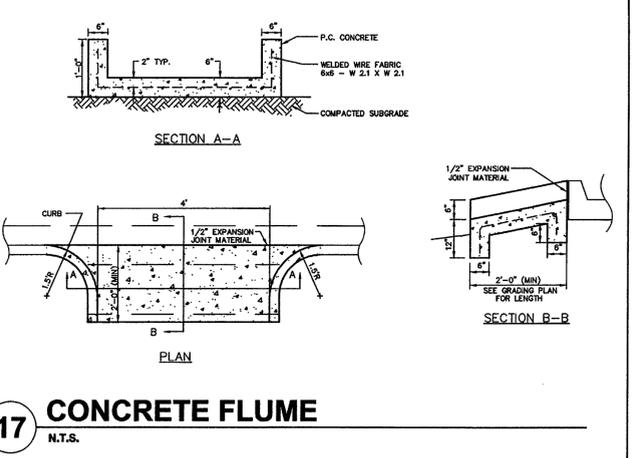
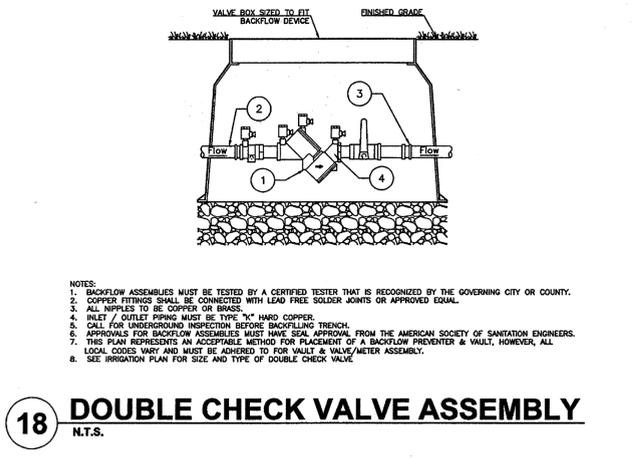
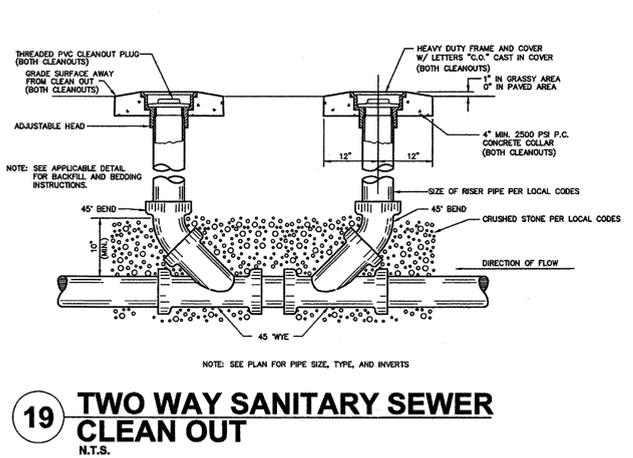
STORE NO.: 2474
DOCUMENT DATE: 2/23/2015
CHECKED BY: PJM
DRAWN BY: JWG



FOR PERMIT
IRRIGATION
DETAILS

SHEET:
C6.1

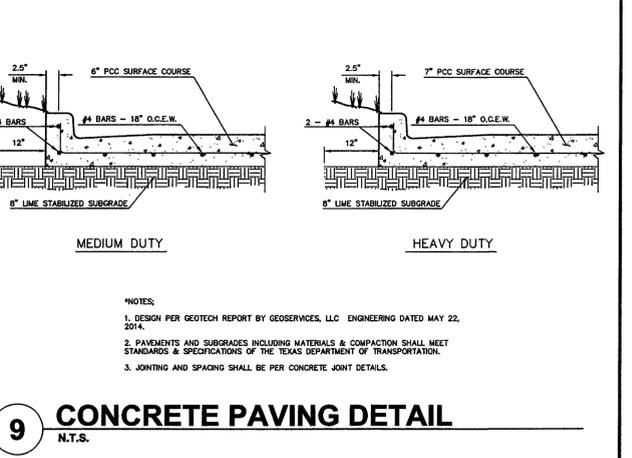
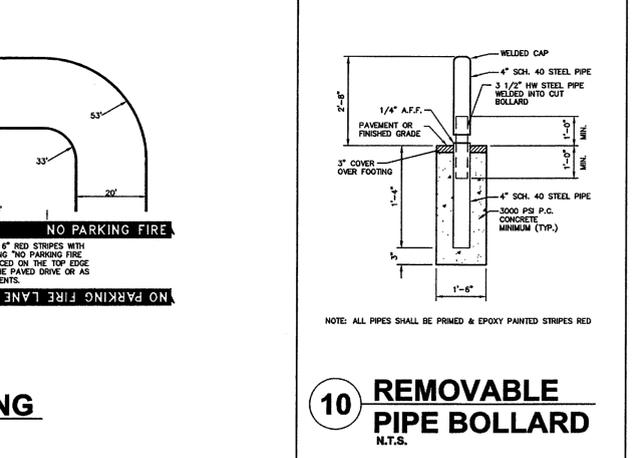
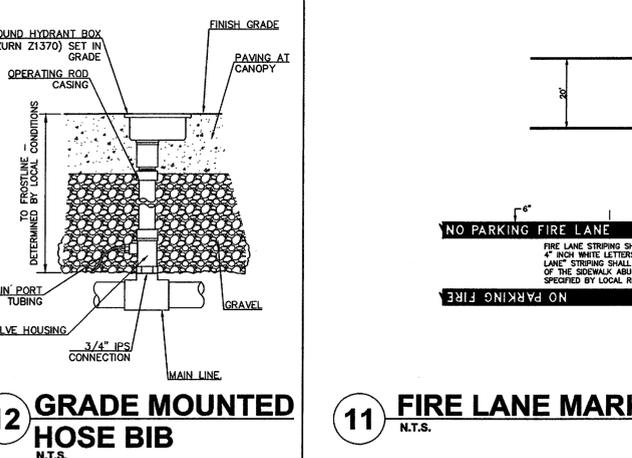
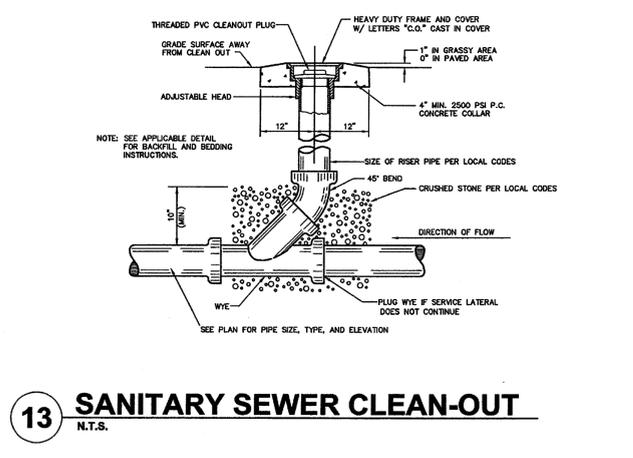
Dec15.2014 10:13am - User: cheryl.mcguire
 I:\016-15-00024-Bryan TX Pk 136 and Copperfield Drive\Disciplines\Civil\Construction Documents\2014-12-10 (OTF) 10-15-00024 PROJ.dwg



HFA
ARCHITECTS
ENGINEERS
INTERIORS

HARRISON FRENCH & ASSOCIATES, LTD.

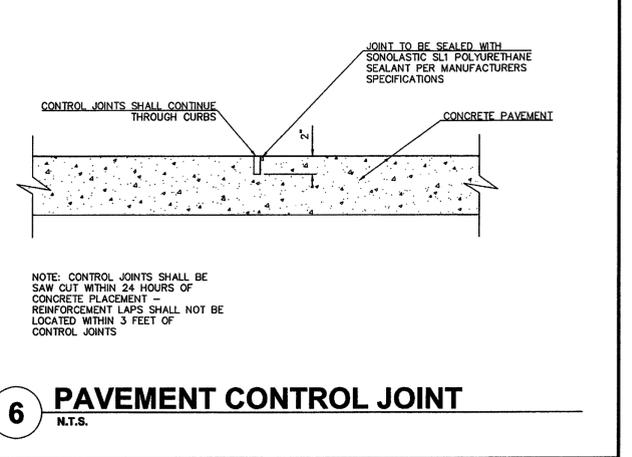
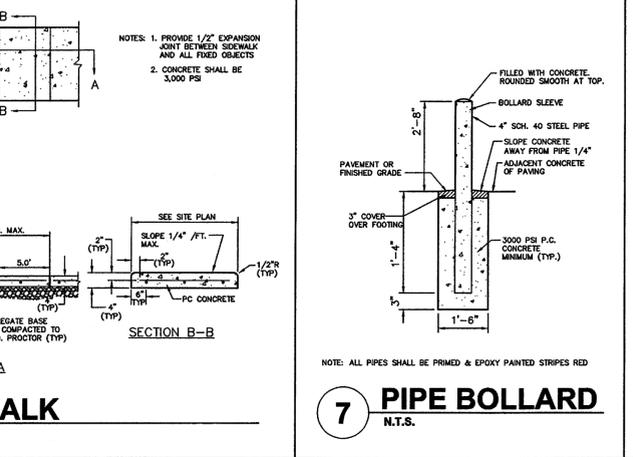
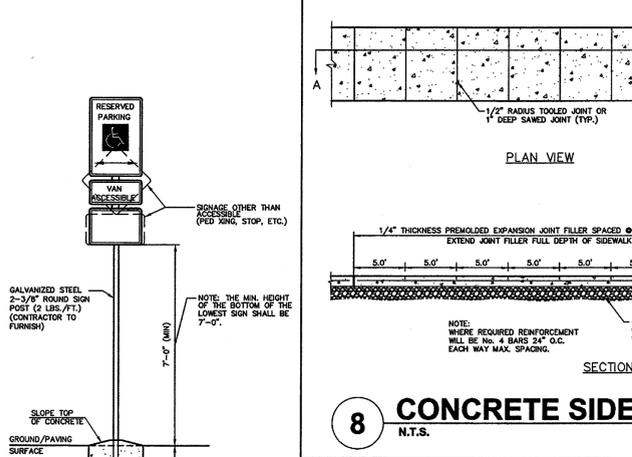
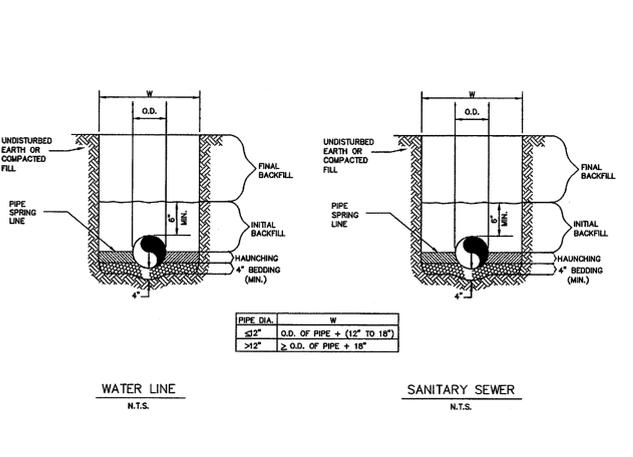
1705 S. Walton Blvd., Suite 3
Bentonville, Arkansas 72712
t 479.273.7780
f 479.273.9436
www.hfa-ae.com



stripes

STORE 2474
PM 156 & COPPERFIELD DRIVE
BRYAN, TX 77802

PROJ NUMBER: 10-15-00024



ISSUE BLOCK

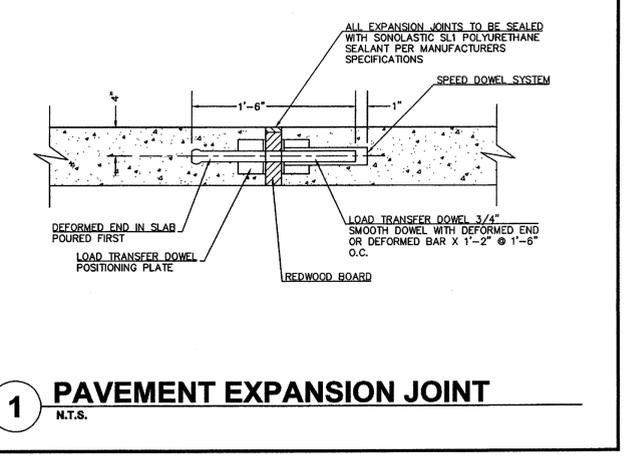
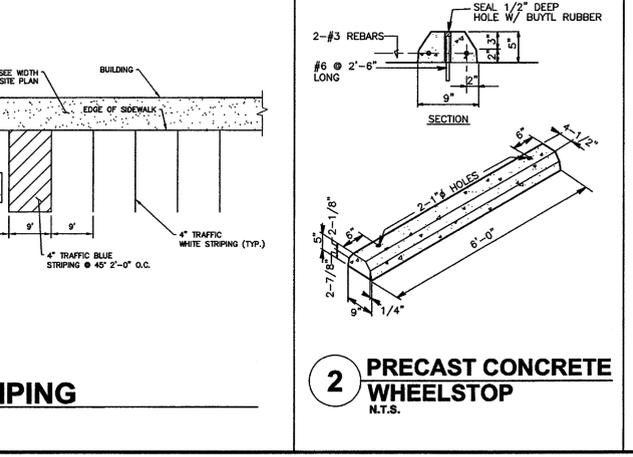
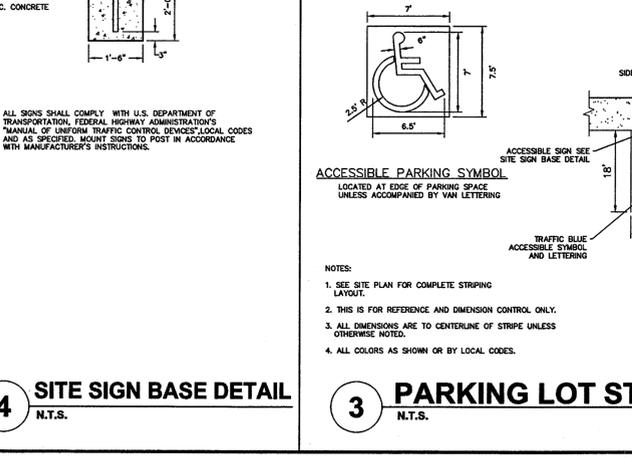
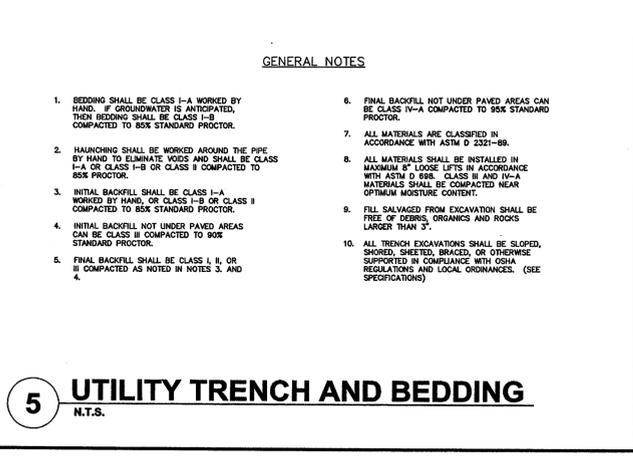
TITLE	DATE
95%	10/27/14
100%	11/10/14
OTF	12/15/14

STORE NO.: 2474 **24**

DOCUMENT DATE: 12/10/2014

CHECKED BY: PJM

DRAWN BY: CLM

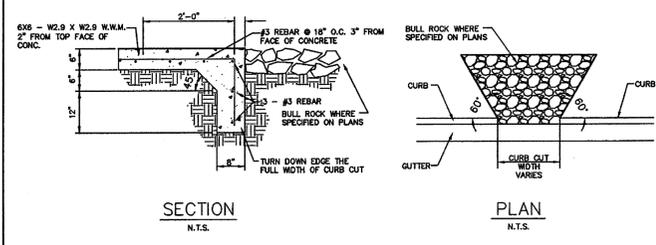


STATE OF TEXAS
PAUL J. MOSS
116731
LICENSED PROFESSIONAL ENGINEER

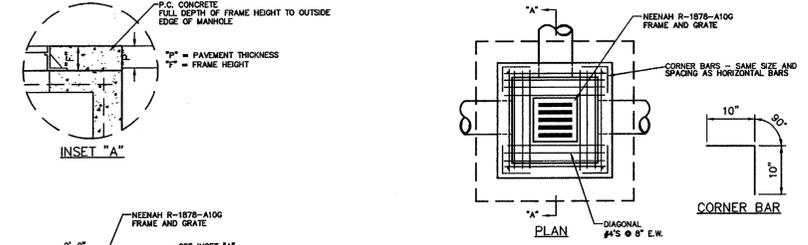
FOR PERMIT
TEXAS COA
#F-8576

DETAIL SHEET

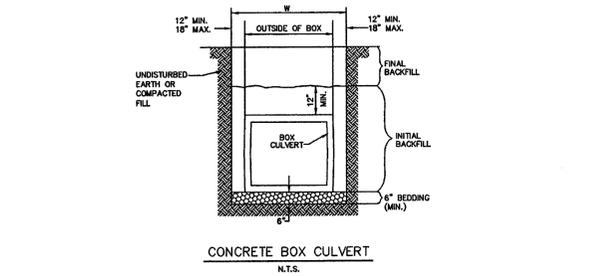
SHEET: **C7.0**



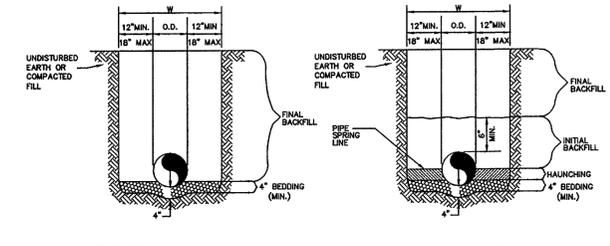
6 EDGE TREATMENT FOR CURB CUTS
N.T.S.



5 GRATED INLET
N.T.S.



CONCRETE BOX CULVERT
N.T.S.



REINFORCED CONCRETE PIPE (RCP) AND SPIRAL RIB PIPE SMALLER THAN 60" Ø
N.T.S.

ALL OTHER PIPES INCLUDING SPIRAL RIB PIPE 60" Ø AND LARGER
N.T.S.

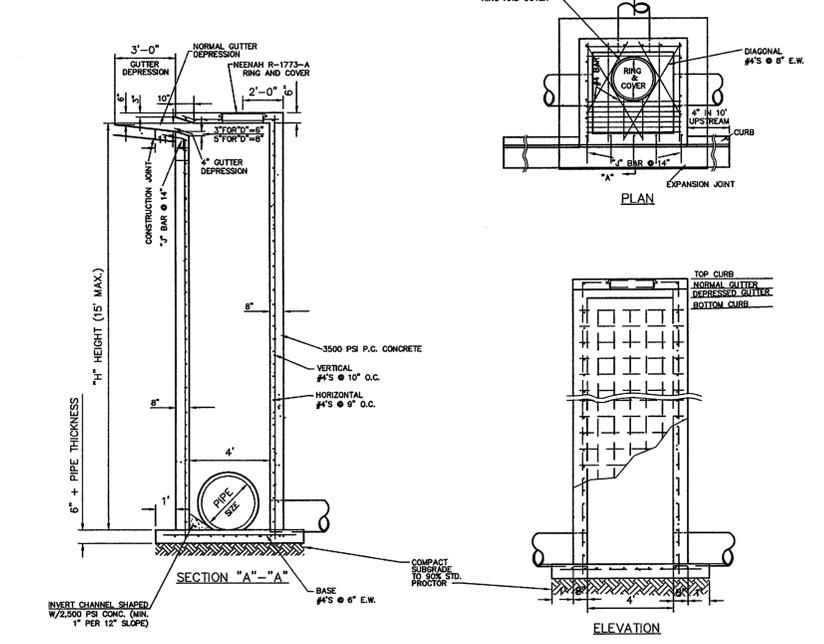
- GENERAL NOTES**
1. BEDDING SHALL BE CLASS I-A WORKED BY HAND IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 85% STANDARD PROCTOR.
 2. HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 85% PROCTOR.
 3. INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND OR CLASS I-B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
 4. INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS II COMPACTED TO 90% STANDARD PROCTOR.
 5. FINAL BACKFILL SHALL BE CLASS I, II, OR III COMPACTED AS NOTED IN NOTES 3, AND 4.
 6. FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS IV-A COMPACTED TO 90% STANDARD PROCTOR.
 7. ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2327-LATEST EDITION.
 8. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH MAXIMUM 5" LOOSE LETS IN ACCORDANCE WITH ASTM D 698. CLASS II AND IV-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
 9. FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
 10. ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

4 STORM SEWER TRENCH AND BEDDING
N.T.S.

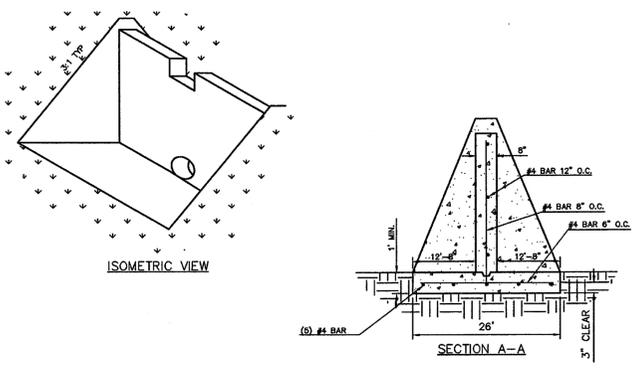
- GENERAL NOTES**
1. ALL EXPOSED CORNERS TO HAVE 3/4" CHAMFER
 2. ALL REINFORCING BARS TO HAVE 2" COVER
 3. SEE GRADING AND DRAINAGE PLAN FOR PIPE SIZES, LOCATIONS, AND FLOW LINES.
 4. PIPES SHALL CONNECT TO THE ENDS OR SIDES OF THE INLET. CONNECTION SHALL NOT BE MADE AT CORNERS OF BOX.
 5. ALL REINFORCING BARS TO BE GRADE 60
 6. PRECAST MANHOLE MAY BE USED UNLESS OTHERWISE NOTED OR DIRECTED BY THE ENGINEER.

PRECAST MANHOLE SPECIFICATIONS

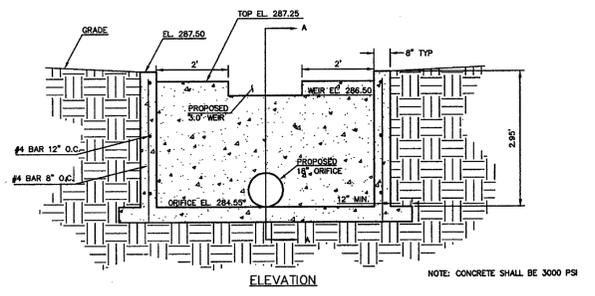
ASTM C478
CONCRETE: 4000 PSI AE (MIN.)
JOINT: WATERTIGHT RUBBER GASKET



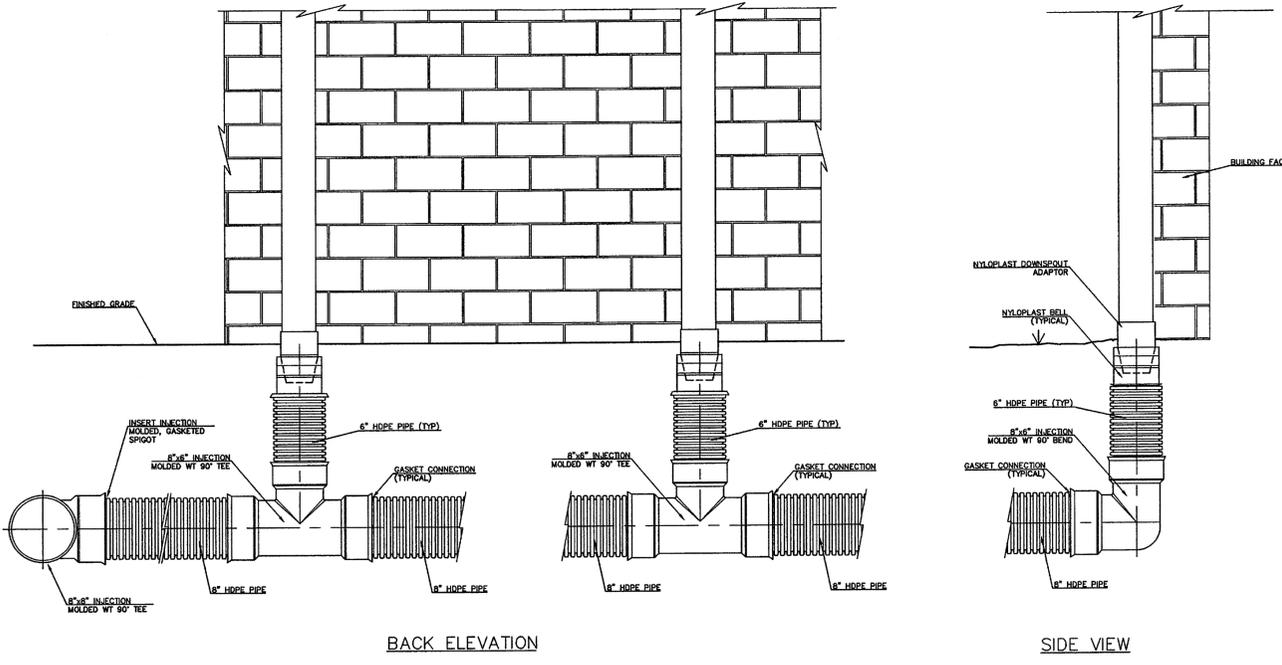
3 CURB INLET
N.T.S.



2 DETENTION OUTLET STRUCTURE
N.T.S.



1 DOWNSPOUT CONNECTION TO STORM PIPE
N.T.S.



BACK ELEVATION

SIDE VIEW

NOTE: INJECTION MOLDED FITTING ARE AVAILABLE IN TEES, WYES, REDUCERS, 45° BENDS AND BELL/BELL COUPLES. WATERTIGHT (AND JOINTS SHOWN. SOUL-TIGHT (STIFFTINGS ARE ALSO AVAILABLE.

HFA ARCHITECTS ENGINEERS INTERIORS

HARRISON FRENCH & ASSOCIATES, LTD

1705 S. Walton Blvd., Suite 3
Bentonville, Arkansas 72712
479-273-7730
479-273-9436
www.hfa-se.com

STIPULATION FOR REUSE
THIS DRAWING WAS PREPARED FOR USE ON A BRYAN, TX 77802 DATE: 10/27/14 AND IT IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF HARRISON FRENCH & ASSOCIATES, LTD. DRAWING FOR REUSE ON ANY OTHER PROJECT WILL BE CONSIDERED TO BE CONTRARY TO THE LAW.

stripes

STORE 2474
PM 136 & COPPERFIELD DRIVE
BRYAN, TX 77802

PROJ NUMBER: 10-15-00024

ISSUE BLOCK

△	TITLE	DATE
	95%	10/27/14
	100%	11/10/14
	OTP	12/15/14

STORE NO.: 2474
DOCUMENT DATE: 12/10/2014
CHECKED BY: PJM
DRAWN BY: CLM

STATE OF TEXAS
PAUL J. MOSS
116731
LICENSED PROFESSIONAL ENGINEER
11/15/14

FOR PERMIT TEXAS COA #F-8576

DETAIL SHEET

SHEET: **C7.1**

Dec15,2014-10:13am - User cherym.mcquire
 I:\10\10-15-00024-Bryan TX FM 158 and Copperfield Drive\Disciplines\Civil\Construction Documents\2014-12-10 (OTP)\10-15-00024 PROUD.dwg

7 BLOCK AND AGGREGATE CURB INLET SEDIMENT DEVICE
N.T.S.

SECTION A-A

PLAN

NOTES:

- PLACE CONCRETE BLOCKS IN A SINGLE ROW AROUND PERIMETER OF INLET ON THEIR SIDES, WITH ENDS OF ADJACENT BLOCKS ABUTTING.
- HEIGHT OF BARRIER VARIES. USE STACKS OF 4", 8", OR 12" BLOCKS. MIN. HEIGHT OF BARRIER SHALL BE 12" AND MAX. HEIGHT SHALL BE 24".
- PLACE HARDWARE CLOTH/WIRE MESH W/ MAX. 1/2" OPENINGS OVER VERTICAL FACE OF CONCRETE BLOCKS.
- THE AGGREGATE SHALL BE 3/4"-2" ANGULAR CLEAN STONE, WHICH WILL SLOW THE FLOW OF THE WATER AND ALLOW IT TO FILTER THROUGH AND OVER THE MATERIAL BEFORE ENTERING THE INLET.

4 BLOCK AND AGGREGATE FLUME SEDIMENT DEVICE
N.T.S.

SECTION

PLAN

NOTES:

- PLACE CONCRETE BLOCKS IN A SINGLE ROW AROUND PERIMETER OF INLET ON THEIR SIDES, WITH ENDS OF ADJACENT BLOCKS ABUTTING.
- HEIGHT OF BARRIER VARIES. USE STACKS OF 4", 8", OR 12" BLOCKS. MIN. HEIGHT OF BARRIER SHALL BE 12" AND MAX. HEIGHT SHALL BE 24".
- PLACE HARDWARE CLOTH/WIRE MESH W/ MAX. 1/2" OPENINGS OVER VERTICAL FACE OF CONCRETE BLOCKS.
- THE AGGREGATE SHALL BE 3/4"-2" ANGULAR CLEAN STONE, WHICH WILL SLOW THE FLOW OF THE WATER AND ALLOW IT TO FILTER THROUGH AND OVER THE MATERIAL BEFORE ENTERING THE FLUME.

3 BLOCK AND AGGREGATE INLET SEDIMENT DEVICE
N.T.S.

SECTION A-A

PLAN

NOTES:

- PLACE CONCRETE BLOCKS IN A SINGLE ROW AROUND PERIMETER OF INLET ON THEIR SIDES, WITH ENDS OF ADJACENT BLOCKS ABUTTING.
- HEIGHT OF BARRIER VARIES. USE STACKS OF 4", 8", OR 12" BLOCKS. MIN. HEIGHT OF BARRIER SHALL BE 12" AND MAX. HEIGHT SHALL BE 24".
- PLACE HARDWARE CLOTH/WIRE MESH W/ MAX. 1/2" OPENINGS OVER VERTICAL FACE OF CONCRETE BLOCKS.
- THE AGGREGATE SHALL BE 3/4"-2" ANGULAR CLEAN STONE, WHICH WILL SLOW THE FLOW OF THE WATER AND ALLOW IT TO FILTER THROUGH AND OVER THE MATERIAL BEFORE ENTERING THE INLET.

6 TXDOT INLET CONVERSION
N.T.S.

PLAN

SECTION "A"-A

DOWEL DETAIL

GENERAL NOTES:

- ALL EXPOSED CORNERS TO HAVE 3/4" CHAMFER.
- ALL REINFORCING BARS TO HAVE 2" COVER.
- ALL REINFORCING BARS TO BE GRADE 60.

MIN. -4 EA.- PLACED AT CORNERS OF INLET OR MANHOLE FOR CURB INLETS, PLACE AT CORNERS AND AT 5'-0" C-C ALONG WALLS

2 SILT DIKE CHECK DAM
N.T.S.

SECTION A-A

SECTION B-B

NOTES:

- POINT "A" MUST BE HIGHER THAN POINT "B" TO ENSURE THAT WATER FLOWS OVER THE DIKE AND NOT AROUND THE ENDS.

SPACING RECOMMENDATIONS FOR THE EROSION EEL™ FOR PERIMETER CONTROLS AND INTERCEPTING SHEET FLOW ON SLOPES

SLOPE(S)	SINGLE EEL SPACING(F)	STACKED DUAL EEL SPACING(F)
0.5	300	N/A
1	200	N/A
2	150	N/A
3	100	N/A
4	80	N/A
5	60	N/A
6	45	N/A
8	30	N/A
10	25	N/A
15	+12	+25
20	N/A	+15
25	N/A	+10
33	N/A	+6
50	N/A	N/A

5 CANOPY DOWNSPOUT CONNECTION DETAIL
N.T.S.

SIDE VIEW

PLAN VIEW

DOWNSPOUT CONNECTION #	DOWNSPOUT FLOWLINE	4" HDPE PIPE LENGTH	SLOPE (%)	FLOWLINE ELEVATION OF TEE
(1)	FL=287.80	8.5'	1.65%	FL=287.66
(2)	FL=287.98	8.5'	1.52%	FL=287.85
(3)	FL=288.16	8.5'	1.41%	FL=288.04
(4)	FL=288.34	8.5'	1.29%	FL=288.23
(5)	FL=288.52	8.5'	1.2%	FL=288.42

1 EROSION EELS SEDIMENT BARRIER
N.T.S.

DETAIL E1-A: EROSION EEL™
N.T.S.

DETAIL E1-B: INTERCEPTING SHEET FLOW PERPENDICULAR TO FLOW PATH - PLAN VIEW

DETAIL E1-B1

GENERAL NOTES:

- EROSION EEL™ USED IN PERIMETER CONTROL APPLICATIONS SHALL HAVE A SPECIFICATION MIXTURE 1.1 OR 1.2.
- MIXTURE SPECIFICATION 1.1: A FILTER MIXTURE COMPRISED OF SIZE SHREDDED RUBBER AND SIZE WOOD CHIP PARTICLES BY VOLUME. THE SHREDDED RUBBER SHALL BE WASHED AND PROCESSED TO REMOVE MOST, IF NOT ALL, METAL COMPONENTS. THE RUBBER SHALL BE DERIVED FROM RECYCLED TIRES AND SHALL BE SHREDDED TO PRODUCE A MAXIMUM PARTICLE SIZE OF +/- 3/4" DIA. THE WOOD CHIPS SHALL BE PROVIDED FROM HARDWOOD TREES AND SHALL BE SHREDDED TO PRODUCE A MAXIMUM PARTICLE SIZE OF +/- 1/2" DIA. THE MIXTURE SHALL BE SHREDDED FROM RECYCLED TIRES AND SHALL BE SHREDDED TO PRODUCE A MAXIMUM PARTICLE SIZE OF +/- 3/4" DIA. THE WOOD CHIPS SHALL BE PROVIDED FROM HARDWOOD TREES AND SHALL CONFORM TO ASTM CERTIFICATION SPECIFICATION # 2-10. THE CONCRETE FIBERS SHALL BE PROVIDED FROM RECYCLED MANUFACTURED MINERAL FIBER (MFM), BUT NOT LIMITED TO, PRE-COMMERCE SCOMP CAPLET, THE CHORD, AND THE FIBER MATERIALS.
- EROSION EEL™ SHALL BE MANUFACTURED FROM A HIGH STRENGTH POLYPROPYLENE WITH INTERIOR FILTER MATERIALS SUCH AS WOOD SHREDDED RUBBER MIXTURE SPECIFICATION 1.1, SIZE SHREDDED RUBBER/WOOD MIXTURE SPECIFICATION 1.1.
- LENGTHS OF EROSION EEL™ SHALL BE EITHER A NOMINAL +/-10 FT. OR +/- 4.5 FT. NOMINAL DIAMETER SHALL BE +/- .89 INCHES.
- EROSION EEL™ CAN BE PLACED AT THE TOP OF THE SLOPE, OR AT THE TOE OF SLOPES TO INTERCEPT RUNOFF, REDUCE FLOW VELOCITY, REDUCE THE RAINFALL SHEET FLOW AND PREVENT EROSION OF SOIL FROM THE RUNOFF.
- EROSION EEL™ SHALL BE INSTALLED ALONG THE GROUND CONTOUR, AT THE TOE OF SLOPES, AT AN ANGLE TO THE CONTOUR TO DIRECT FLOW AS A DRAINAGE CHANNEL. EROSION EEL™ SHALL BE INSTALLED IN A SLOPE OR ON A FLAT SURFACE TO REDUCE SURFACE SOIL LOSS AND RETAIN SEDIMENT, OR AS A GENERAL FILTER FOR ANY DEREGULATED SOIL.
- NO TRENCHING IS REQUIRED FOR INSTALLATION OF EROSION EEL™.
- PREPARE BED FOR EEL INSTALLATION BY REMOVING ANY LARGE ROCKS INCLUDING ROCKS, SOIL CLOSURE, AND WOODY VEGETATION. EROSION EEL™ CAN ALSO BE PLACED OVER PAVED SURFACES INCLUDING CONCRETE AND ASPHALT WITH NO SURFACE PREPARATION REQUIRED.
- RAKE BED AREA WITH A HARD RAKE OR BY HAND.
- DO NOT PLACE EEL OVERHANG OVER HILL AND GRASSY SLOPE AREA HAS BEEN HAND-COATED AND RAKED TO PROVIDE A LEVEL BEDDING SURFACE. ALL SURFACES SHALL BE UNIFORMLY COMPACTED FOR MAXIMUM SEATING OF EELS AT PLACE.
- FOR LOCATIONS WHERE EELS WILL BE PLACED IN CONCENTRATED FLOWS (SUCH AS CHECK DAMS, BUTT JOINTS) AND FOR PERIMETER CONTROLS AT PRIMARY ENGINEERING LOCATIONS, USE THE EEL™ IN A FLOWING SINGLE OR DOUBLE ROW.
- FOR OTHER APPLICATIONS, THE MAXIMUM DRAINAGE AREA SHALL BE 10 ACRES.
- IF MORE THAN ONE EROSION EEL™ IS PLACED IN A ROW, THE EEL™ SHALL BE OVERLAPPED A MINIMUM OF 12 INCHES TO PREVENT FLOW AND SEDIMENT FROM PASSING THROUGH THE EEL™. COMPRESS THE TIE OF THE OVERLAP TIGHTLY TOGETHER BY HAND OR MANUFACTURER-APPROVED MECHANIZED MEANS.
- EROSION EEL™ SHALL REMAIN IN PLACE UNTIL FULLY DEGRADED. VEGETATION HAS COMPLETELY ENVELOPED OR UNTIL THE STORAGE CAPACITY/FUNCTIONAL LIFE OF THE EEL™ HAS BEEN EXHAUSTED (REQUIRING REPLACEMENT WITH NEW EELS).
- FOR CHECK DAM APPLICATIONS, EROSION EEL™ SHALL BE PLACED PERPENDICULAR TO THE FLOW OF THE WATER. EROSION EEL™ SHALL CONTRIBUTE UP THE SLOPE SLOPES A MINIMUM OF 3 FEET ABOVE THE SEDIMENT FLOW LINE.
- EROSION EEL™ SHALL REMAIN IN PLACE UNTIL FULLY DEGRADED. VEGETATION HAS COMPLETELY ENVELOPED OR UNTIL THE STORAGE CAPACITY/FUNCTIONAL LIFE OF THE EEL™ HAS BEEN EXHAUSTED (REQUIRING REPLACEMENT WITH NEW EELS).
- ANCHORING POSTS FOR CHECK DAM APPLICATIONS SHALL HAVE A MINIMUM HEIGHT OF 1.25 LB/FT STEEL T-POSTS (2 TO 3 FT. LENGTH) BORED FROM THROUGH THE EEL™. COMPRESS THE TIE OF THE OVERLAP TIGHTLY TOGETHER BY HAND OR MANUFACTURER-APPROVED MECHANIZED MEANS. POSTS SHOULD BE EQUIPPED WITH A WIDE ANCHOR PLATE. ANCHORING POSTS SHOULD BE PLACED AT A MINIMUM OF 2 FT. INTO GROUND.
- PLACE T-POSTS THROUGH HOLE OF EEL™. DO NOT DRIVE POSTS THROUGH EROSION EEL™. T-POSTS ARE TO BE DRIVEN A MINIMUM OF 2 FT. INTO GROUND.

HFA ARCHITECTS ENGINEERS INTERIORS

HARRISON FRENCH & ASSOCIATES, LTD

1705 S. Walton Blvd., Suite 3
 Bentonville, Arkansas 72712
 479.273.7780
 479.273.9436
 www.hfa-ae.com

STIPULATION FOR REUSE
 THIS DRAWING WAS PREPARED FOR USE ON A BRYAN, TX 77802 PROJECT. IT IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF HARRISON FRENCH & ASSOCIATES, LTD. ANY REUSE OF THIS DRAWING FOR REUSE ON ANY OTHER PROJECT IS AT THE USER'S RISK AND IS NOT THE RESPONSIBILITY OF HARRISON FRENCH & ASSOCIATES, LTD.

stripes

STORE 2474
 FM 158 & COPPERFIELD DRIVE
 BRYAN, TX 77802

PROJ NUMBER: 10-15-00024

ISSUE BLOCK

NO.	TITLE	DATE
1	95%	10/27/14
2	100%	11/10/14
3	OTD	12/15/14

STORE NO.: 2474 **24**

DOCUMENT DATE: 12/10/2014

CHECKED BY: PJM

DRAWN BY: CLM

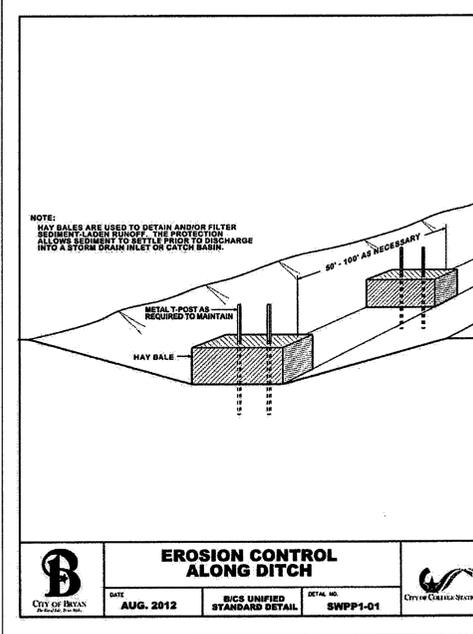
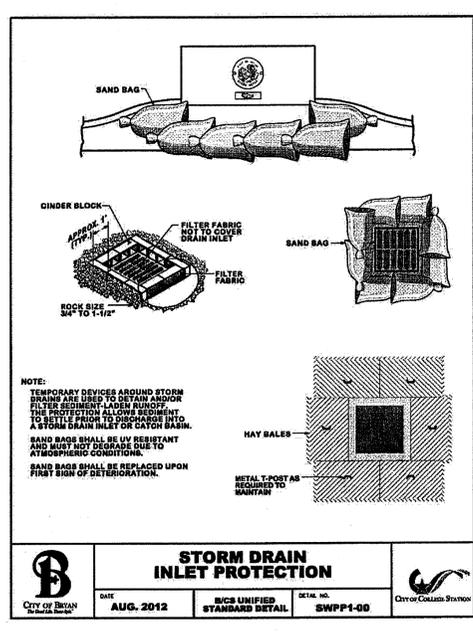
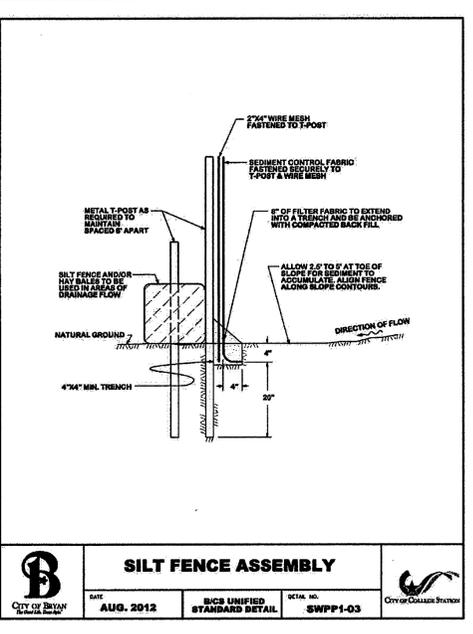
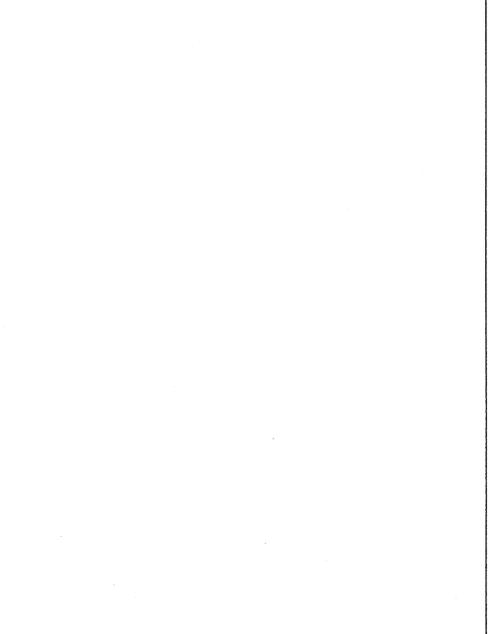
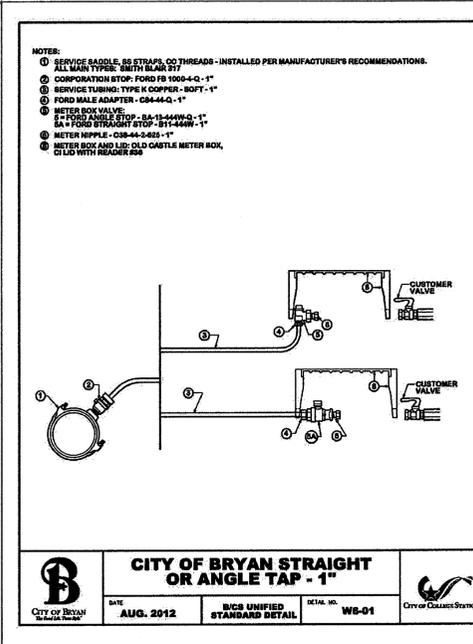
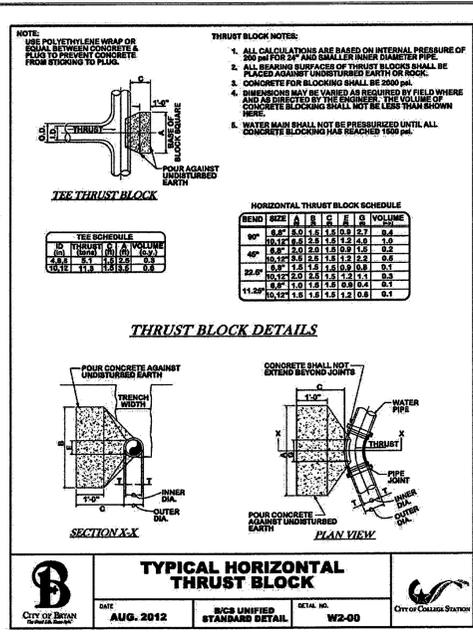
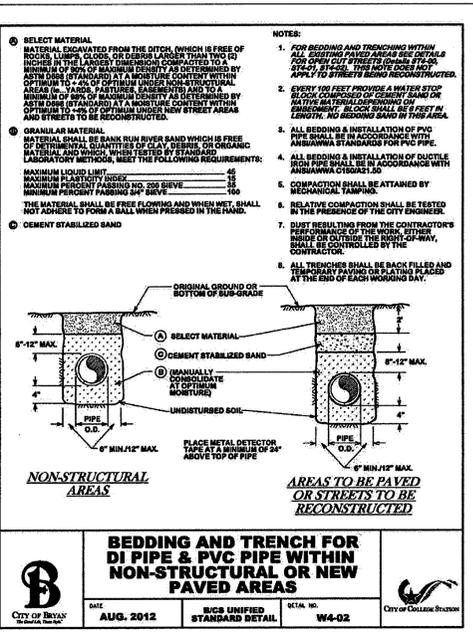
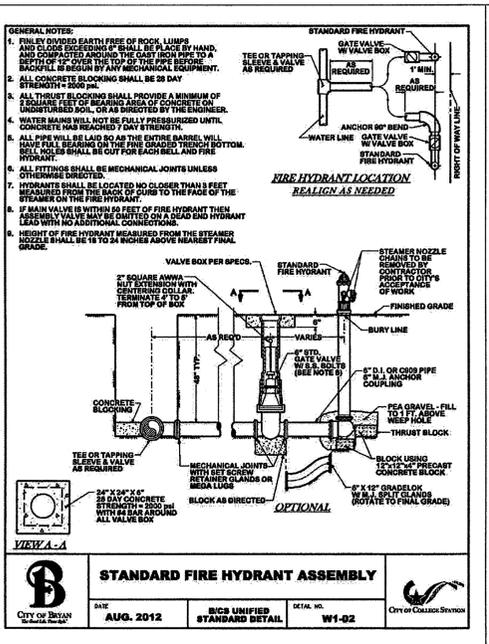
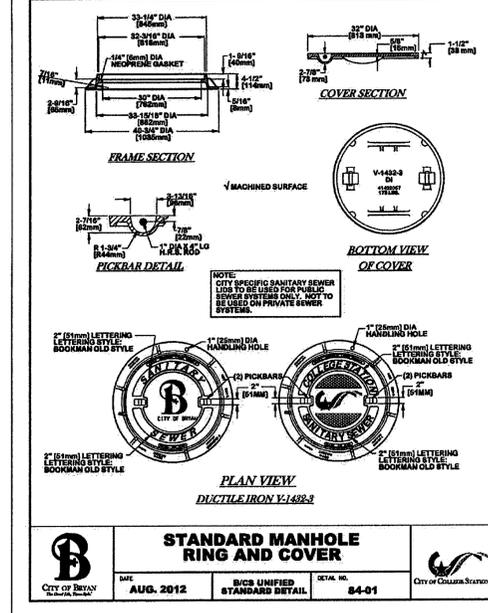
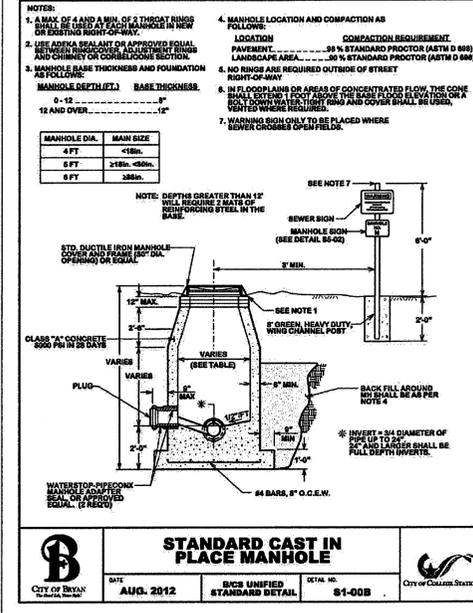
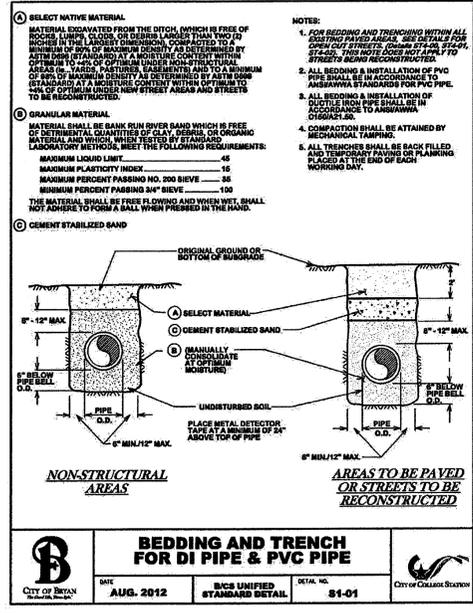
STATE OF TEXAS
 PAUL J. MOSS
 116731
 LICENSED PROFESSIONAL ENGINEER
 12/15/14

FOR PERMIT
 TEXAS COA
 #F-8576

DETAIL SHEET

SHEET:
C7.2

Dec15:2014-10:14am - User chery.mcguire
 I:\10\10-15-00024 Bryan TX FM 158 and Copperfield Drive\Disciplines\Civil\Construction Documents\2014-12-10 (OTP) 10-15-00024 PROJ.dwg



HFA ARCHITECTS ENGINEERS INTERIORS
 HARRISON FRENCH & ASSOCIATES, LTD
 1705 S. Walton Blvd., Suite 3
 Bentonville, Arkansas 72712
 t 479.273.7710
 f 479.273.9436
 www.hfa-ac.com

STIPULATION FOR REUSE:
 THIS DRAWING WAS PREPARED FOR USE ON A BRYAN, TX 77802 DATE: 08/15/2014. IT IS THE PROPERTY OF HFA ARCHITECTS ENGINEERS INTERIORS AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF HFA ARCHITECTS ENGINEERS INTERIORS. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT OR IN ANY OTHER MANNER WITHOUT THE WRITTEN PERMISSION OF HFA ARCHITECTS ENGINEERS INTERIORS IS STRICTLY PROHIBITED AND WILL BE CONSIDERED A VIOLATION OF THE PROFESSIONAL ENGINEERING AND ARCHITECTURE ACTS AND MAY BE SUBJECT TO PENALTY UNDER THE LAW.

stripes
 STORE 2474
 FM 158 & COPPERFIELD DRIVE
 BRYAN, TX 77802
 PROJ NUMBER: 10-15-00024

ISSUE BLOCK

NO.	TITLE	DATE
1	95%	10/27/14
2	100%	11/10/14
3	OTF	12/15/14

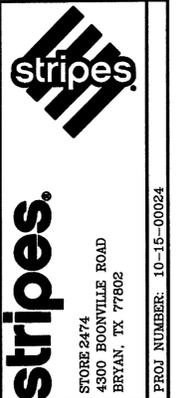
STORE NO.: 2474 **Z4**
 DOCUMENT DATE: 12/10/2014
 CHECKED BY: PJM
 DRAWN BY: CLM

FOR PERMIT
 TEXAS COA
 #F-8576

CITY
 DETAILS

SHEET:
C7.3

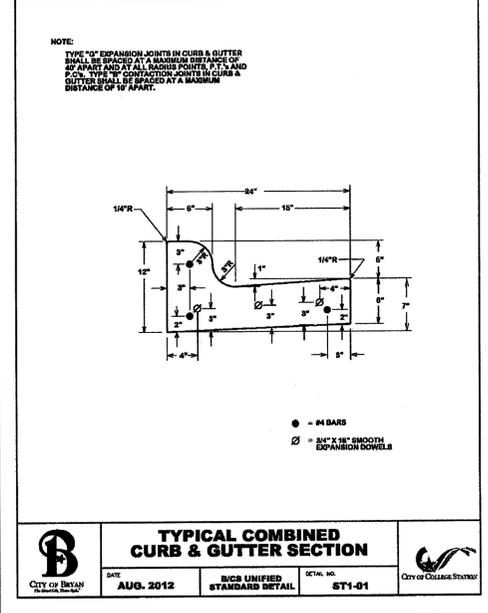
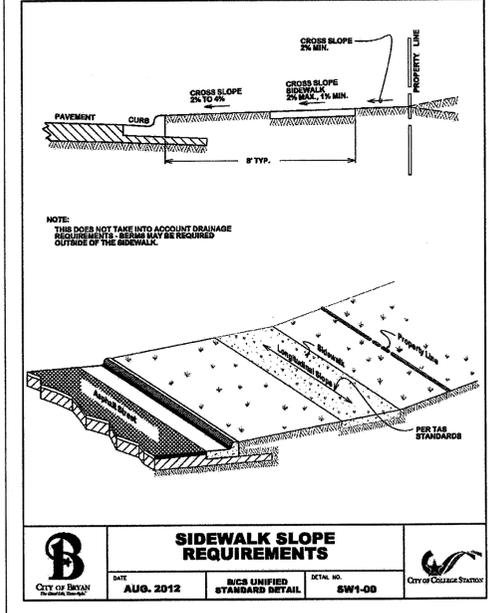
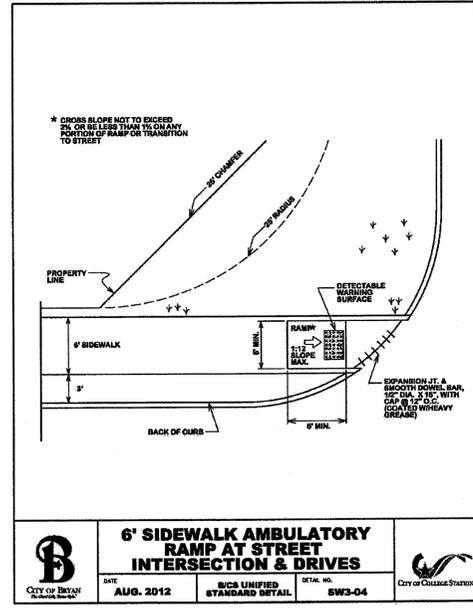
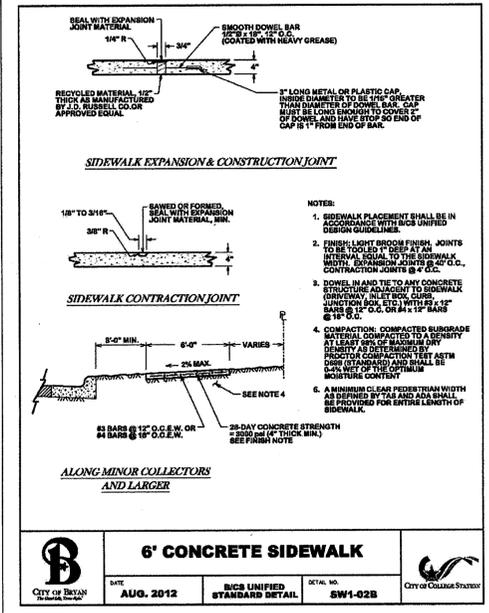
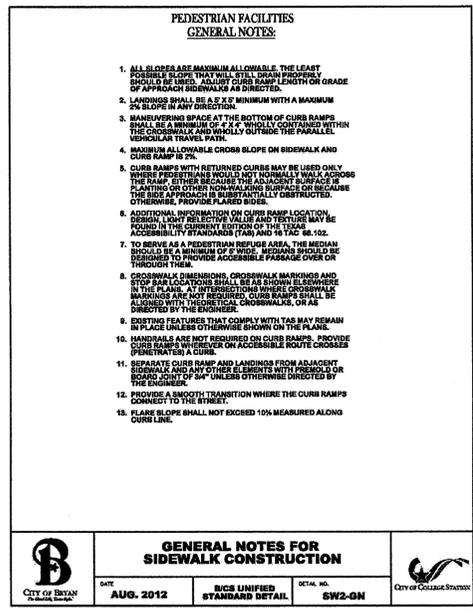
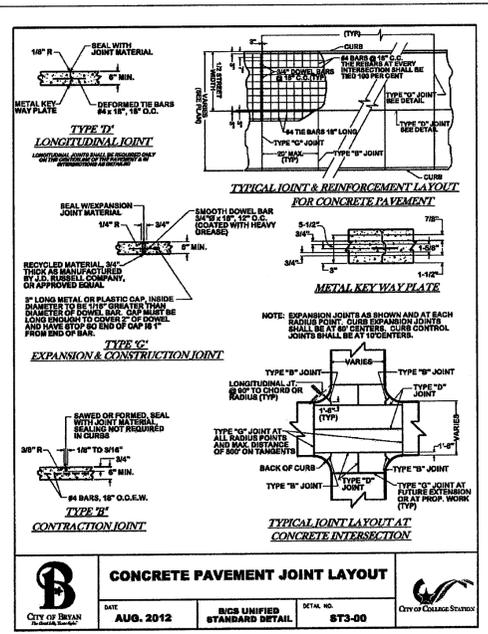
STIPULATION FOR REUSE
THIS DRAWING WAS PREPARED FOR USE
ON A PROJECT IN BRYAN, TX 77802
DATE: 08/15/11
AND IT IS NOT TO BE REUSED FOR USE ON A
DIFFERENT PROJECT SITE OR FOR ANY OTHER
PURPOSE WITHOUT THE WRITTEN CONSENT OF
HARRISON FRENCH & ASSOCIATES, LTD.
DRAWINGS FOR REUSE ON ANY OTHER
PROJECT WITHOUT THE WRITTEN CONSENT OF
HARRISON FRENCH & ASSOCIATES, LTD. WILL
BE CONSIDERED TO BE A VIOLATION OF THE
PROFESSIONAL ENGINEERING AND ARCHITECTURE
ACTS AND MAY BE SUBJECT TO PENALTY.



ISSUE BLOCK	
NO.	DATE
1	10/27/14
2	11/10/14
3	12/15/14
4	2/18/15

STORE NO.: 2474
DOCUMENT DATE: 2/18/2015
CHECKED BY: PJM
DRAWN BY: CLM

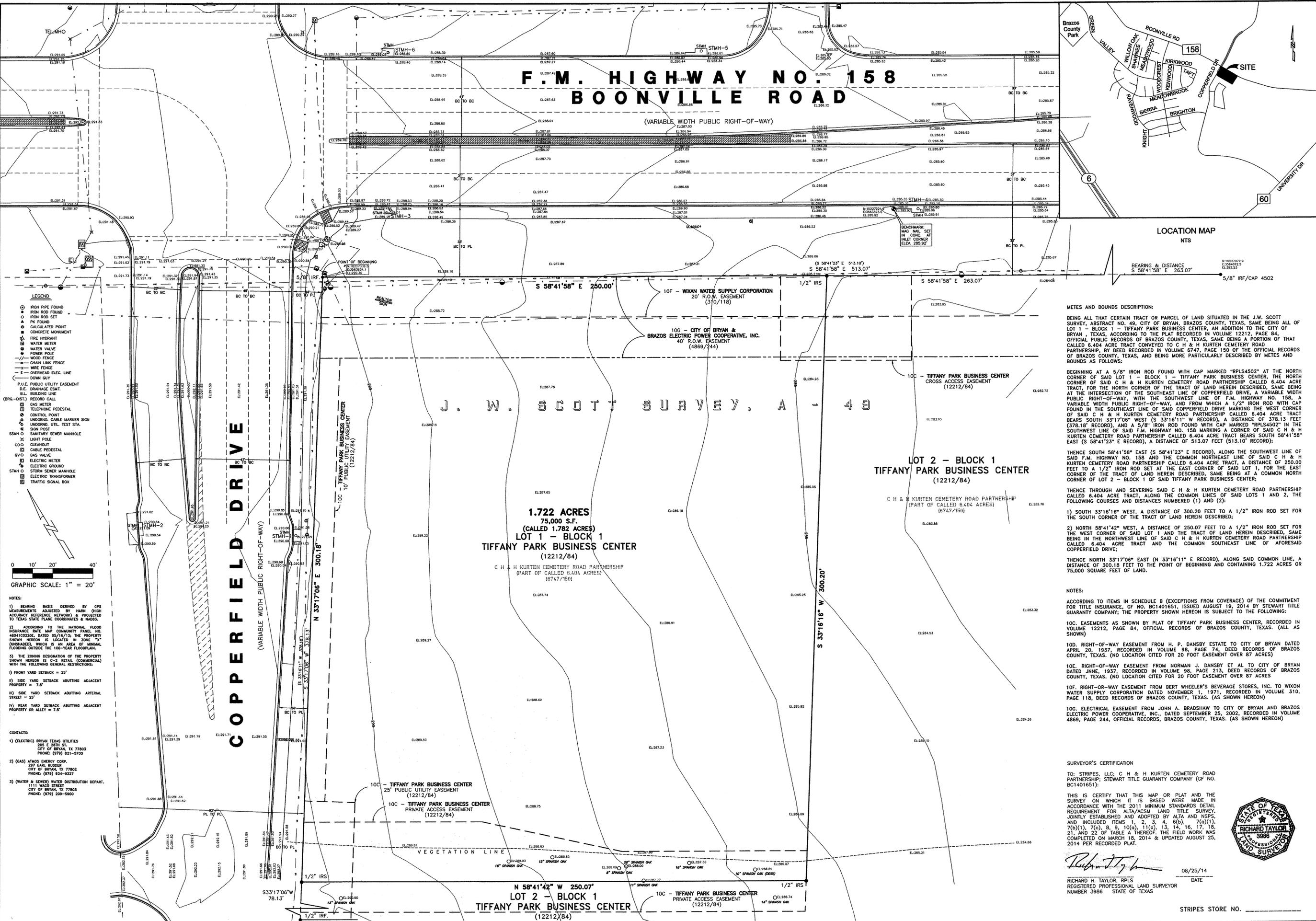
DETAIL REMOVED



FOR PERMIT
TEXAS COA
#F-8576

CITY
DETAILS

SHEET:
C7.4



F.M. HIGHWAY NO. 158 BOONVILLE ROAD

(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

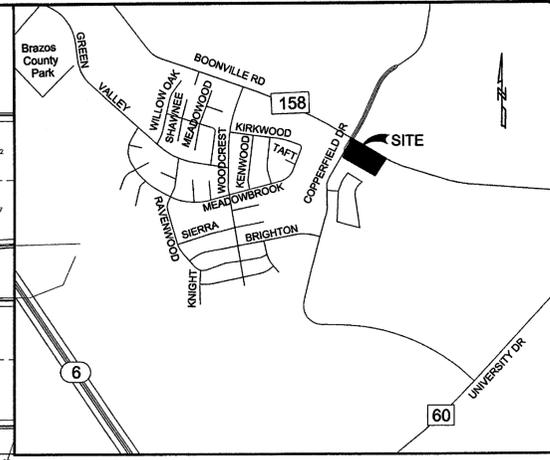
COPPERFIELD DRIVE

J. W. SCOTT SURVEY, A - 40

**1.722 ACRES
75,000 SF.
(CALLED 1.782 ACRES)
LOT 1 - BLOCK 1
TIFFANY PARK BUSINESS CENTER
(12212/84)**

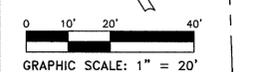
**LOT 2 - BLOCK 1
TIFFANY PARK BUSINESS CENTER
(12212/84)**

**LOT 2 - BLOCK 1
TIFFANY PARK BUSINESS CENTER
(12212/84)**



LOCATION MAP
NTS

- LEGEND**
- IRON PIPE FOUND
 - IRON ROD FOUND
 - IRON ROD SET
 - △ PVI FOUND
 - CALCULATED POINT
 - CONCRETE MONUMENT
 - ▲ FIRE HYDRANT
 - WATER METER
 - WATER VALVE
 - POWER POLE
 - WIRE FENCE
 - CHAIN LINK FENCE
 - OVERHEAD ELEC. LINE
 - DOWN GUY
 - P.U.E. PUBLIC UTILITY EASEMENT
 - D.E. DRAINAGE ESMT.
 - B.L. BUILDING LINE
 - (BRG-DIST) RECORD CALL
 - GAS METER
 - TELEPHONE PEDESTAL
 - CONTROL POINT
 - UNDERGR. CABLE MARKER SIGN
 - UNDERGR. UTIL. TEST STA.
 - SIGN POST
 - SANITARY SEWER MANHOLE
 - LIGHT POLE
 - CLEANOUT
 - CABLE PEDESTAL
 - G.V. GAS VALVE
 - ELECTRIC METER
 - ELECTRIC GROUND
 - STORM SEWER MANHOLE
 - ELECTRIC TRANSFORMER
 - TRAFFIC SIGNAL BOX



- NOTES:**
- 1) BEARING BASIS DERIVED BY GPS MEASUREMENTS ADJUSTED BY HIGH ACCURACY REFERENCE NETWORK, & PROJECTED TO TEXAS STATE PLANE COORDINATES & MADS.
 - 2) ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 480410226E DATED 05/14/12 THE PROPERTY SHOWN HEREON IS LOCATED IN ZONE "X" (UNDESIRABLE), WHICH IS AN AREA OF MINIMAL FLOODING OUTSIDE THE 100-YEAR FLOODPLAIN.
 - 3) THE ZONING DESIGNATION OF THE PROPERTY SHOWN HEREON IS C-2 RETAIL (COMMERCIAL) WITH THE FOLLOWING GENERAL RESTRICTIONS:
 - i) FRONT YARD SETBACK = 25'
 - ii) SIDE YARD SETBACK ABUTTING ADJACENT PROPERTY = 7.5'
 - iii) SIDE YARD SETBACK ABUTTING ARTERIAL STREET = 25'
 - iv) REAR YARD SETBACK ABUTTING ADJACENT PROPERTY OR ALLEY = 7.5'

- CONTACTS:**
- 1) (ELECTRIC) BRYAN TEXAS UTILITIES
205 E 28TH ST.
CITY OF BRYAN, TX 77803
PHONE: (979) 821-5700
 - 2) (GAS) ATMOS ENERGY CORP.
287 EAST BUCKNER
CITY OF BRYAN, TX 77802
PHONE: (979) 834-2227
 - 3) (WATER & SEWER) WATER DISTRIBUTION DEPART.
1111 WACO STREET
CITY OF BRYAN, TX 77803
PHONE: (979) 209-5600

METES AND BOUNDS DESCRIPTION:

BEING ALL THAT CERTAIN TRACT OR PARCEL OF LAND SITUATED IN THE J.W. SCOTT SURVEY, ABSTRACT NO. 49, CITY OF BRYAN, BRAZOS COUNTY, TEXAS, SAME BEING ALL OF LOT 1 - BLOCK 1 - TIFFANY PARK BUSINESS CENTER, AN ADDITION TO THE CITY OF BRYAN, TEXAS, ACCORDING TO THE PLAT RECORDED IN VOLUME 12212, PAGE 84, OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY, TEXAS, SAME BEING A PORTION OF THAT CALLED 6.404 ACRE TRACT CONVEYED TO C H & H KURTEN CEMETERY ROAD PARTNERSHIP, BY DEED RECORDED IN VOLUME 6747, PAGE 150 OF THE OFFICIAL RECORDS OF BRAZOS COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 5/8" IRON ROD FOUND WITH CAP MARKED "RPLS4502" AT THE NORTH CORNER OF SAID LOT 1 - BLOCK 1 - TIFFANY PARK BUSINESS CENTER, THE NORTH CORNER OF SAID C H & H KURTEN CEMETERY ROAD PARTNERSHIP CALLED 6.404 ACRE TRACT, FOR THE NORTH CORNER OF THE TRACT OF LAND HEREIN DESCRIBED, SAME BEING AT THE INTERSECTION OF THE SOUTHEAST LINE OF COPPERFIELD DRIVE, A VARIABLE WIDTH PUBLIC RIGHT-OF-WAY, WITH THE SOUTHWEST LINE OF F.M. HIGHWAY NO. 158, A VARIABLE WIDTH PUBLIC RIGHT-OF-WAY, AND FROM WHICH A 1/2" IRON ROD WITH CAP FOUND IN THE SOUTHWEST LINE OF SAID COPPERFIELD DRIVE MARKING THE WEST CORNER OF SAID C H & H KURTEN CEMETERY ROAD PARTNERSHIP CALLED 6.404 ACRE TRACT BEARS SOUTH 33°17'06" WEST (S 33°16'11" W RECORD), A DISTANCE OF 378.13 FEET (378.18' RECORD), AND A 5/8" IRON ROD FOUND WITH CAP MARKED "RPLS4502" IN THE SOUTHWEST LINE OF SAID F.M. HIGHWAY NO. 158 MARKING A CORNER OF SAID C H & H KURTEN CEMETERY ROAD PARTNERSHIP CALLED 6.404 ACRE TRACT BEARS SOUTH 58°41'58" EAST (S 58°41'23" E RECORD), A DISTANCE OF 513.07 FEET (513.10' RECORD);

THENCE SOUTH 58°41'58" EAST (S 58°41'23" E RECORD), ALONG THE SOUTHWEST LINE OF SAID F.M. HIGHWAY NO. 158 AND THE COMMON NORTHEAST LINE OF SAID C H & H KURTEN CEMETERY ROAD PARTNERSHIP CALLED 6.404 ACRE TRACT, A DISTANCE OF 250.00 FEET TO A 1/2" IRON ROD SET AT THE EAST CORNER OF SAID LOT 1, FOR THE EAST CORNER OF THE TRACT OF LAND HEREIN DESCRIBED, SAME BEING AT A COMMON NORTH CORNER OF LOT 2 - BLOCK 1 OF SAID TIFFANY PARK BUSINESS CENTER;

THENCE THROUGH AND SEVERING SAID C H & H KURTEN CEMETERY ROAD PARTNERSHIP CALLED 6.404 ACRE TRACT, ALONG THE COMMON LINES OF SAID LOTS 1 AND 2, THE FOLLOWING COURSES AND DISTANCES NUMBERED (1) AND (2):

- 1) SOUTH 33°16'16" WEST, A DISTANCE OF 300.20 FEET TO A 1/2" IRON ROD SET FOR THE SOUTH CORNER OF THE TRACT OF LAND HEREIN DESCRIBED;
- 2) NORTH 58°41'42" WEST, A DISTANCE OF 250.07 FEET TO A 1/2" IRON ROD SET FOR THE WEST CORNER OF SAID LOT 1 AND THE TRACT OF LAND HEREIN DESCRIBED, SAME BEING IN THE NORTHWEST LINE OF SAID C H & H KURTEN CEMETERY ROAD PARTNERSHIP CALLED 6.404 ACRE TRACT AND THE COMMON SOUTHEAST LINE OF AFORESAID COPPERFIELD DRIVE;

THENCE NORTH 33°17'06" EAST (N 33°16'11" E RECORD), ALONG SAID COMMON LINE, A DISTANCE OF 300.18 FEET TO THE POINT OF BEGINNING AND CONTAINING 1.722 ACRES OR 75,000 SQUARE FEET OF LAND.

NOTES:

- ACCORDING TO ITEMS IN SCHEDULE B (EXCEPTIONS FROM COVERAGE) OF THE COMMITMENT FOR TITLE INSURANCE, OF NO. BC1401651, ISSUED AUGUST 18, 2014 BY STEWART TITLE GUARANTY COMPANY, THE PROPERTY SHOWN HEREON IS SUBJECT TO THE FOLLOWING:
- 10C. EASEMENTS AS SHOWN BY PLAT OF TIFFANY PARK BUSINESS CENTER, RECORDED IN VOLUME 12212, PAGE 84, OFFICIAL RECORDS OF BRAZOS COUNTY, TEXAS. (ALL AS SHOWN)
 - 10D. RIGHT-OF-WAY EASEMENT FROM H. P. DANSBY ESTATE TO CITY OF BRYAN DATED APRIL 20, 1937, RECORDED IN VOLUME 98, PAGE 74, DEED RECORDS OF BRAZOS COUNTY, TEXAS. (NO LOCATION CITED FOR 20 FOOT EASEMENT OVER 87 ACRES)
 - 10E. RIGHT-OF-WAY EASEMENT FROM NORMAN J. DANSBY ET AL TO CITY OF BRYAN DATED JUNE, 1937, RECORDED IN VOLUME 98, PAGE 213, DEED RECORDS OF BRAZOS COUNTY, TEXAS. (NO LOCATION CITED FOR 20 FOOT EASEMENT OVER 87 ACRES)
 - 10F. RIGHT-OF-WAY EASEMENT FROM BERT WHEELER'S BEVERAGE STORES, INC. TO WIXON WATER SUPPLY CORPORATION DATED NOVEMBER 1, 1971, RECORDED IN VOLUME 310, PAGE 118, DEED RECORDS OF BRAZOS COUNTY, TEXAS. (AS SHOWN HEREON)
 - 10G. ELECTRICAL EASEMENT FROM JOHN A. BRADSHAW TO CITY OF BRYAN AND BRAZOS ELECTRIC POWER COOPERATIVE, INC., DATED SEPTEMBER 25, 2002, RECORDED IN VOLUME 4869, PAGE 244, OFFICIAL RECORDS, BRAZOS COUNTY, TEXAS. (AS SHOWN HEREON)

SURVEYOR'S CERTIFICATION

TO: STRIPES, LLC; C H & H KURTEN CEMETERY ROAD PARTNERSHIP; STEWART TITLE GUARANTY COMPANY (GF NO. BC1401651);

THIS IS CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARDS DETAIL REQUIREMENT FOR ALTA/ACSM LAND TITLE SURVEY, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDED ITEMS 1, 2, 3, 4, 6(b), 7(a)(1), 7(b)(1), 7(c), 8, 9, 10(b), 11(a), 14, 14.1, 14.16, 17, 18, 21, AND 22 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 18, 2014 & UPDATED AUGUST 25, 2014 PER RECORDED PLAT.

Richard H. Taylor
RICHARD H. TAYLOR, RPLS
REGISTERED PROFESSIONAL LAND SURVEYOR
NUMBER 3986 STATE OF TEXAS



DATE: 08/25/14
STRIPES STORE NO. _____

REVISIONS

NO.	DATE	DESCRIPTION
1	08/25/14	ISSUE FOR COMMENT
2	08/25/14	REVISED PER COMMENTS
3	08/25/14	UPDATED PER PLAT

DESIGNED BY: RHT
DRAWN BY: RHT
APPROVED BY: _____
FILE NAME: STRIPES

DRAWING INFORMATION

DATE: 05/19/14
PROJECT NO: 14-5251
PLOT SCALE: 1" = 20'

ALTA/ACSM LAND TITLE SURVEY
LOT 1 - BLOCK 1 - TIFFANY PARK BUSINESS CENTER
BOONVILLE ROAD (FM 158) & COPPERFIELD ROAD
J.W. SCOTT SURVEY, A-49
CITY OF BRYAN, BRAZOS COUNTY, TEXAS

ASH & ASSOCIATES
SURVEYING-ENGINEERING-ARCHITECTURE
SERVING THE COMMUNITY OF TEXAS

Surveying: 100847-00
Engineering: F-15483
Architecture: 1202040

132 JACKSON LANE
SAN MARCOS, TEXAS 78666
(512) 392-1719
FAX (512) 392-1928
central@ashandassociates.com

DRAWING
FM 158
SHEET: 1
OF 1