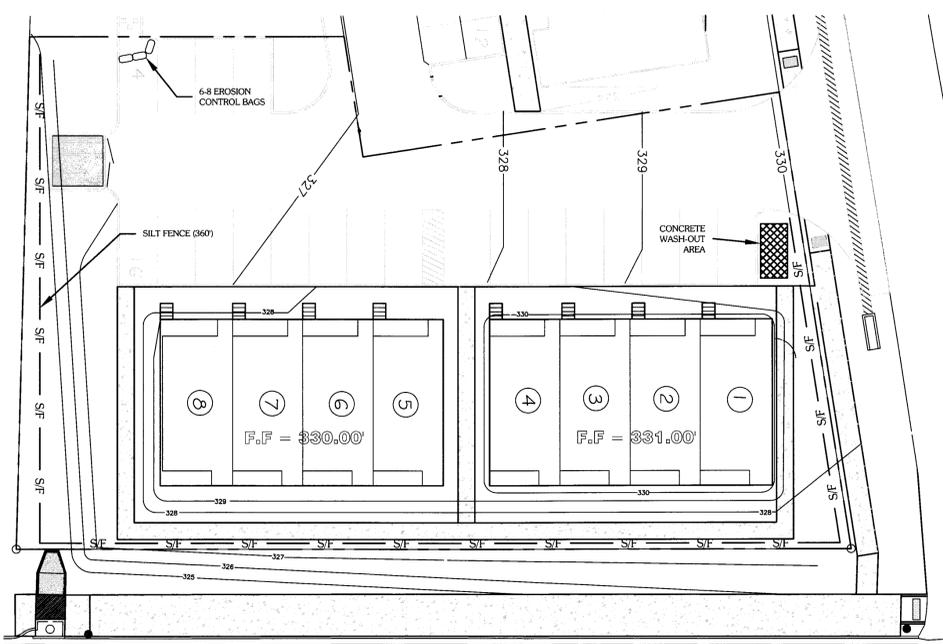
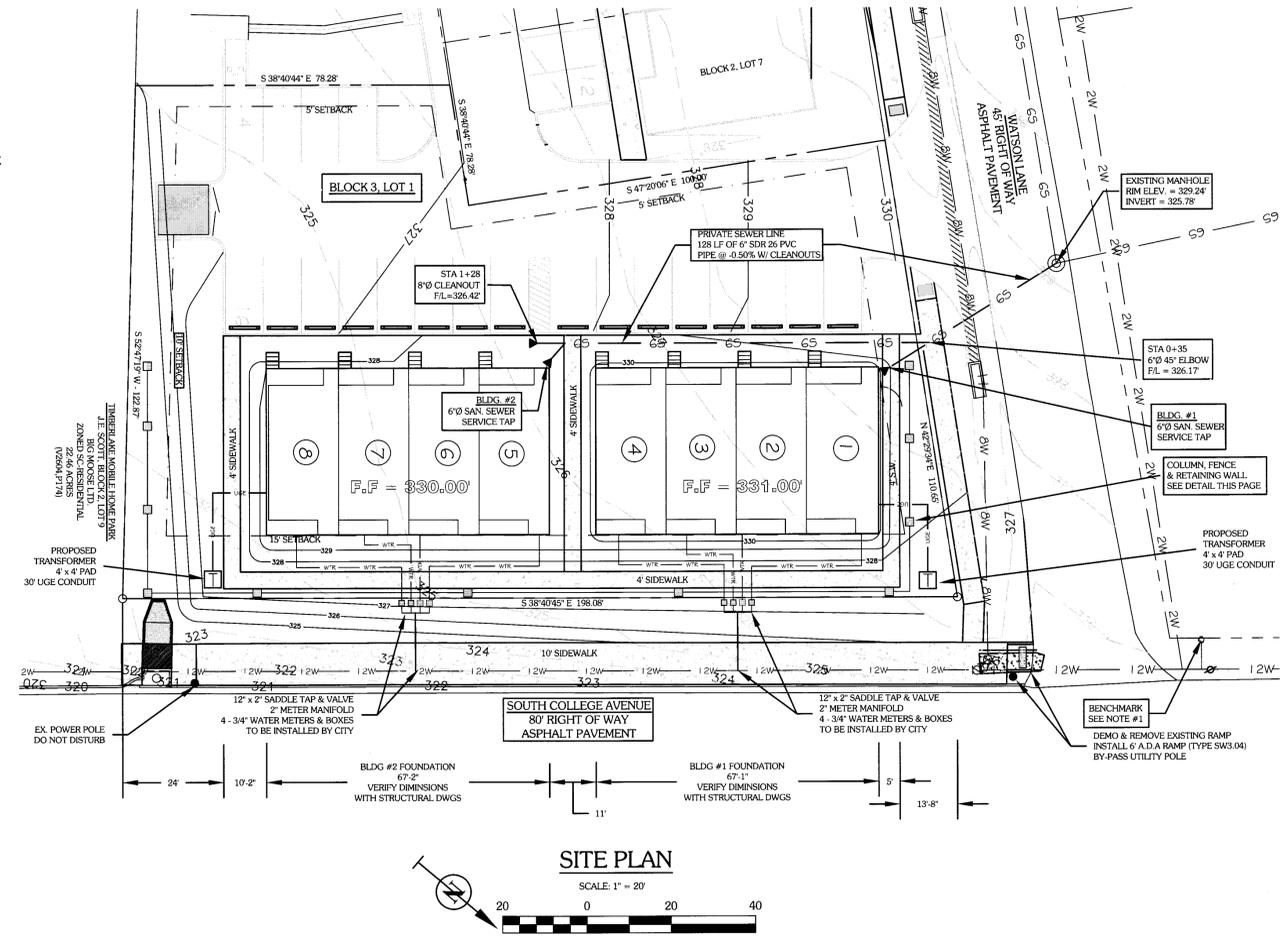


**BRICK COLUMN WITH WROUGHT IRON FENCE /
LANDSCAPE BLOCK RETAINING WALL**
NOT TO SCALE



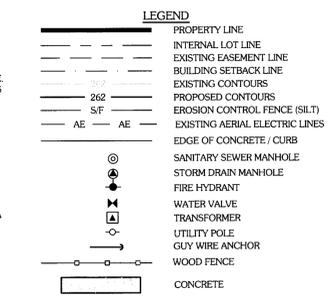
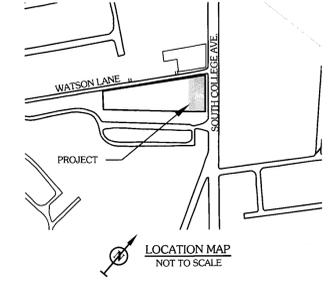
EROSION CONTROL PLAN
SCALE: 1" = 20'



SITE PLAN
SCALE: 1" = 20'

GENERAL NOTES:

- BENCHMARK: ELEV. = 329.43'. TOP NUT OF EXISTING FIRE HYDRANT ADJACENT TO COLLEGE MAIN AND WATSON LANE INTERSECTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES. AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT ONE TSS @ 1.800.348.8577.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF BACS UNIFIED DESIGN GUIDELINES AND SPECIFICATIONS FOR WATER, SEWER, DRAINAGE AND STREET CONSTRUCTION. TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY'S STANDARDS. ALL CONSTRUCTION SHALL BE COORDINATED WITH THE CITY ENGINEERS OFFICE PRIOR TO START.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION SAFETY. CONSTRUCTION DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
- LOCATION OF EXISTING BURIED UTILITIES, WHERE SHOWN, IS APPROXIMATED ONLY. OTHER UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE CONSTRUCTION DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING OF ALL BURIED UTILITIES.
- THE PROPOSED BUILDINGS AND ASSOCIATED DIMENSIONS SHOWN HEREIN WERE PROVIDED BY OWNER.
- THIS PROJECT IS LOCATED IN THE SOUTH COLLEGE OVERLAY DISTRICT (SC-B) AND IS APPROVED OF CONDOMINIUM USE PER APPROVED CONDITIONAL USE PERMIT.
- THE SUBJECT PROPERTY DOES NOT LIE WITHIN THE LIMITS OF THE 100-YEAR FLOOD HAZARD AREA AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY: MAP NUMBER 480410015E, EFFECTIVE DATE MAY 16, 2012.
- THE METES AND BOUNDS DESCRIPTION AND ALL SHOWN EASEMENTS HEREIN WERE PROVIDED BY KERR SURVEYING, AUGUST 2013.
- ALL SIDEWALKS AND RAMPS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH A.D.A. (AMERICANS WITH DISABILITIES ACT), AND T.A.S. (TEXAS ACCESSIBILITY STANDARDS) REQUIREMENTS AND STANDARDS.
- LANDSCAPE DESIGN AND ANALYSIS CAN BE FOUND ON SHEET C-7. IRRIGATION PLANS SHALL BE PROVIDED BY OTHERS.
- ALL CURB RADI SHALL BE 2' FROM BACK OF CURB UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS SHOWN ARE MEASURED FROM BACK OF CURB UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL HYDRO-MULCH SEED TO PROMOTE GRASS RE-GROWTH TO ALL AREAS THAT HAVE BEEN DISTURBED BY CONSTRUCTION.
- ALL ROOF AND GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW OR ISOLATED SO AS NOT TO BE VISIBLE FROM ANY PUBLIC RIGHT OF WAY OR RESIDENTIAL DISTRICT WITHIN 150' OF THE SUBJECT LOT, MEASURED FROM A POINT FIVE FEET ABOVE GRADE. SUCH SCREENING SHALL BE COORDINATED WITH BUILDING ARCHITECTURE AND SCALE TO MAINTAIN A UNIFIED APPEARANCE.
- CONTRACTOR SHALL HYDRO-MULCH SEED TO PROMOTE GRASS RE-GROWTH TO ALL AREAS THAT HAVE BEEN DISTURBED BY CONSTRUCTION.
- ALL MAINTENANCE AND UP-KEEP OF ALL COMMON AREAS WILL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION.
- CONDOMINIUM UNITS SHALL MEET CITY OF BRYAN ORDINANCE:
 - UNIT AREA: 667 SQ. FT.
 - WIDTH: 16'-8"
 - DEPTH: 40'
- THIS CONDOMINIUM DEVELOPMENT WILL PROVIDE A CROSS ACCESS EASEMENT TO PROVIDE SHARED PARKING LIMITED TO CONDOMINIUMS & TOWNHOME USE ONLY.
- IRRIGATION SYSTEM - POTABLE WATER SUPPLY MUST BE PROTECTED BY EITHER AN ATMOSPHERIC OR PRESSURE VACUUM BREAKER OR TESTABLE DOUBLE CHECK VALVE ASSEMBLY, AND INSTALLED AS PER CITY ORDINANCE.
- FIRE SPRINKLER SYSTEM - POTABLE WATER SUPPLY MUST BE PROTECTED BY TESTABLE DOUBLE CHECK VALVE ASSEMBLY, AND INSTALL AS PER CITY ORDINANCE.
- POTABLE WATER PROTECTION - ALL DEVICES, APPURTENANCES, APPLIANCES AND APPARATUS INTENDED TO SERVE SOME SPECIAL FUNCTION AND THAT CONNECTS TO THE WATER SYSTEM, SHALL BE PROVIDED WITH PROTECTION AGAINST BACK FLOW AND CONTAMINATION OF THE WATER SUPPLY SYSTEM.



- SOLID WASTE DISPOSAL:**
- 3' x 13' WIDE x 11' DEEP CONTAINMENT AREA HAVE BEEN PROVIDED WITH 6' FENCED ENCLOSURE FOR STANDARD 12' x 12' METAL TRASH BINS. TRASH BINS SHALL BE SHARED BY ALL TENANTS.
- DEMOLITION / CONSTRUCTION WASTE:**
- CONTRACTOR SHALL PROVIDE CONTAINMENT FOR WASTE, PRIOR TO, AND DURING, DEMOLITION / CONSTRUCTION. SOLID WASTE ROLL-OFF BOXES / METAL DUMPSTERS SHALL BE SUPPLIED BY CITY OR CITY PERMITTED CONTRACTOR(S) ONLY.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINMENT AND PROPER DISPOSAL OF ALL LIQUID AND SOLID WASTE ASSOCIATED WITH THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE OCCURRENCES OF WIND BLOWN LITTER FROM THE PROJECT.

FOUNDATION & BUILDING CONSTRUCTION:

- FOUNDATION AND BUILDING DESIGN AND CONSTRUCTION ARE TO BE PROVIDED BY OTHERS AND ARE NOT INCLUDED IN THESE DOCUMENTS.

SITE CLEARING AND GRADING:

- SITE PREPARATION: CONTRACTOR SHALL CLEAR AND GRUB DESIGNATED AREAS OF ALL TOP SOIL AND ORGANIC MATERIAL. TOP SOIL SHALL BE STOCKPILED ON-SITE AT A LOCATION DESIGNATED BY OWNER.
- ALL AREAS THAT ARE FOUND TO BE 'PUMPS' OR 'SINK-HOLES' OR NOT TO BE IN ORIGINAL UN-EXCAVATED COMPACTED STATE, SHALL BE REMOVED AND REPLACED WITH SELECT FILL, COMPACTED PER PROJECT SPECIFICATIONS.

STORM WATER MITIGATION NOTES:

- CONTRACTOR/OWNER IS RESPONSIBLE FOR FILING A NOTICE OF INTENT (NOI) WITH TCEQ PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL STORM WATER POLLUTION PREVENTION ASSOCIATED WITH THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE TRANSPORTATION OF SEDIMENT FROM THE PROJECT SITE.
- ALL STORM WATER PRODUCED FROM THIS SITE GENERALLY SHEET FLOWS TO THE PARKING LOT AREAS WHERE IT IS CAPTURED AND CONVEYED TO THE EXISTING DETENTION POND.

PARKING ANALYSIS:

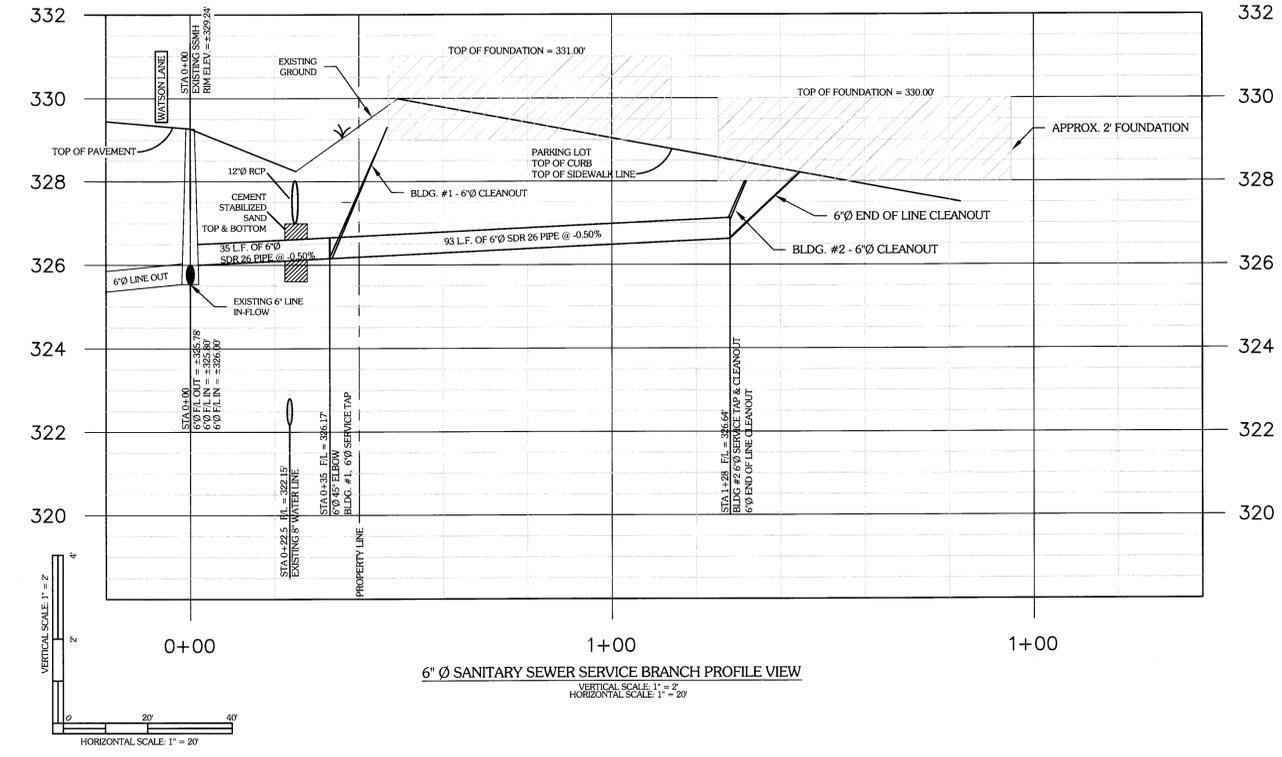
PARKING ANALYSIS & REQUIREMENTS:	52 PARKING SPOTS
13 - 4 BEDROOM TOWNHOMES (1 P.S. per ROOM)	52 PARKING SPOTS
8 - 2 BEDROOM CONDOMINIUM (1 P.S. per ROOM)	16 PARKING SPOTS
PARKING SPOTS REQUIRED:	68 PARKING SPOTS
74 PARKING SPOTS PROVIDED	
* INCLUDES 2 HANDICAP SPOTS (1 VAN ACCESSIBLE)	
ALL PARKING HAS BEEN CONSTRUCTED.	

WATER & SANITARY SEWER LOADINGS:

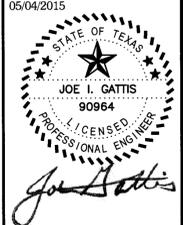
CONDOMINIUM (9 UNITS)	MINIMUM	AVERAGE	MAXIMUM
WATER	10 GPM	20 GPM	30 GPM
SEWER	800 GPD	2000 GPD	8,000 GPD

SITE ELECTRICAL NOTES:

- DEVELOPER INSTALLS CONDUIT PER BTU SPECS AND DESIGN.
- B.T.U. WILL PROVIDE DRAWINGS FOR CONDUIT INSTALLATION.
- DEVELOPER TO INTERCEPT EXISTING CONDUIT AT DESIGNATED TRANSFORMERS AND EXTEND AS REQUIRED.
- IF CONDUIT DOES NOT EXIST AT DESIGNATED TRANSFORMER, DEVELOPER SHALL FURNISH AND INSTALL CONDUIT AS SHOWN ON ELECTRICAL LAYOUT.
- DEVELOPER WILL INSTALL METER/SERVICE LOCATION AS CLOSE AS POSSIBLE TO TRANSFORMER.



6" Ø SANITARY SEWER SERVICE BRANCH PROFILE VIEW
VERTICAL SCALE: 1" = 2'
HORIZONTAL SCALE: 1" = 20'



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WATSON LANE CONDOS
3500 SOUTH COLLEGE AVE.
COLLEGE STATION, TEXAS
MAY 2015

SITE PLAN
LOT 1, BLOCK 3 (0.4779 AC)
WATSON TOWNHOME SUBD.
J.E. SCOTT SURVEY, AB #50
BRYAN, BRAZOS COUNTY, TEXAS

DRAWN BY: JOE G.
DATE: MARCH 2015
SCALE: NOTED
PROJECT #: GE025001

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