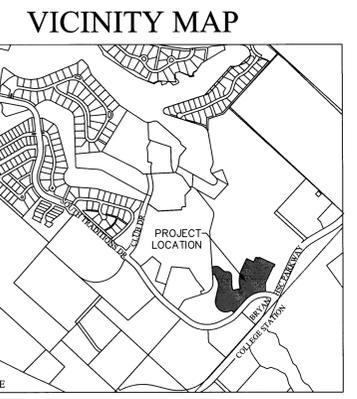


- GENERAL NOTES:**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST CITY OF BRYAN/COLLEGE STATION STANDARDS SPECIFICATIONS AND DETAILS FOR (WATER, SEWER, STREETS, DRAINAGE). ALL CONSTRUCTION SHALL BE COORDINATED WITH THE CITY ENGINEER'S OFFICE.
  2. ALL UTILITY LINES (WATER, GAS, SANITARY SEWER, STORM SEWER, ETC.) SHOWN ARE TAKEN FROM BEST AVAILABLE RECORD INFORMATION BASED ON CONSTRUCTION UTILITY MAP DOCUMENTS OBTAINED FROM CITY AND NEIGHBORING AGENCIES AND/OR ABOVE-GROUND FIELD EVIDENCE. SHOWN POSITIONS MAY NOT REPRESENT AS-BUILT CONDITIONS.
  3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL EXISTING UNDERGROUND UTILITIES. INDICATION OF THE UTILITY COMPANIES IS FOR INFORMATION IN ADVANCE OF CONSTRUCTION.
  4. THE CONTRACTOR SHALL COMPLY WITH OSHA STANDARD 29 CFR PART 1926 SUBPART P FOR TRENCH SAFETY REQUIREMENTS.
  5. BUILDING SETBACK SHALL BE IN ACCORDANCE WITH THE CITY OF BRYAN DEVELOPMENT ORDINANCE.
  6. PROPOSED SIGNS SHALL BE PERMITTED SEPARATELY IN ACCORDANCE WITH THE DEVELOPMENT ORDINANCE.
  7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN NECESSARY PERMITS TO MAINTAIN EGRESS AND PREVENT STORM FROM LEAVING THE PROJECT SITE. THIS INCLUDES THE INSTALLATION OF A CONSTRUCTION DOT AND SILT FENCE AS NECESSARY.
  8. THE CONTRACTOR IS REQUIRED TO MAINTAIN THE TYPICAL GENERAL PERMIT NO. TOR 150000 UNDERGROUND UTILITIES.
  9. PERMANENT VEGETATION WILL BE ESTABLISHED ON THE DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE BY HYDROSEEDING AND SEEDING ALL DISTURBED AREAS.
  10. DRAINAGE INFORMATION AND DETAILS WILL BE PROVIDED ON THE DRAINAGE PLAN AND DRAINAGE REPORT.
  11. LANDSCAPING AND IRRIGATION DESIGN & ANALYSIS WILL BE PROVIDED ON THE LANDSCAPE & IRRIGATION PLAN. THE IRRIGATION SYSTEM MUST BE APPROVED AND INSTALLED PRIOR TO CERTIFICATE OF OCCUPANCY.
  12. ALL RADII AND DISTANCES ARE MEASURED TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
  13. ALL PAVEMENT SHALL BE PER TYPICAL PAVEMENT SECTION REFER TO PAVEMENT PLAN FOR PAVEMENT DETAILS.
  14. DETENTION AND DRAINAGE FACILITIES SHALL BE CONSTRUCTED FIRST.
  15. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER OF ANY DISCREPANCIES IN THESE PLANS, DRAWINGS AND SPECIFICATIONS.
  16. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH ALL STATE AND FEDERAL REGULATIONS REGARDING CONSTRUCTION OPERATIONS AND PROTECT ALL EXISTING UTILITIES OR SERVICE LINES THAT ARE CROSSED OR EXPOSED DURING CONSTRUCTION OPERATIONS. WHERE EXISTING UTILITIES OR SERVICE LINES ARE EXPOSED, REPAIR OR REPLACE WITH THE SAME TYPE OF MATERIAL AND CONSTRUCTION OR BETTER SHALL BE AT THE CONTRACTOR'S OWN EXPENSE.
  17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES OR SERVICE LINES THAT ARE CROSSED OR EXPOSED DURING CONSTRUCTION OPERATIONS. WHERE EXISTING UTILITIES OR SERVICE LINES ARE EXPOSED, REPAIR OR REPLACE WITH THE SAME TYPE OF MATERIAL AND CONSTRUCTION OR BETTER SHALL BE AT THE CONTRACTOR'S OWN EXPENSE.
  18. A COPY OF THE APPROVED CONSTRUCTION PLANS MUST BE KEPT ON SITE AT ALL TIMES THROUGHOUT THE ENTIRE CONSTRUCTION OF THE PROJECT. CONTRACTOR SHALL MAINTAIN A SET OF FIELD DRAWINGS, INCLUDING AS-BUILT DRAWINGS, RECORDING AS-BUILT CONDITIONS OF THE PROJECT.
  19. ANY ADJACENT PROPERTY AND RIGHT-OF-WAY DISTURBED DURING CONSTRUCTION WILL BE RETURNED TO THEIR EXISTING CONDITION OR BETTER.
  20. THE CONTRACTOR SHALL NOT CREATE A DIRT MOUND OR SAFETY HAZARD IN ANY STREET OR DRIVEWAY.
  21. ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY DRAINAGE DITCH OR CONSTRUCTION DITCH SHALL BE RESTORED TO EXISTING CONDITIONS OR BETTER.
  22. THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
  23. THE CONTRACTOR MAY OBTAIN AN ELECTRONIC COPY OF THESE PLANS FOR CONSTRUCTION PURPOSES. THE ELECTRONIC FILE AND INFORMATION GENERATED BY SCHULTZ ENGINEERING, LLC (SE) FOR THIS PROJECT IS CONSIDERED BY SE TO BE CONFIDENTIAL. WHEN ISSUED, IT'S USE IS INTENDED SOLELY FOR THE INDIVIDUAL OR ENTITY TO WHOM IT IS ADDRESSED. PERMISSION IS NOT GRANTED TO THE RECIPIENT FOR DISTRIBUTION OF THESE DOCUMENTS IN ANY FORM OR MANNER. THE RECIPIENT UNDERSTANDS THAT THIS IS A LIMITED USE AND THAT ANY REUSE, REPRODUCTION, OR MODIFICATION OF THESE DOCUMENTS WITHOUT THE WRITTEN PERMISSION OF SE GENERATES THROUGHOUT ITS USE. THE RECIPIENT ALSO UNDERSTANDS AND AGREES THAT SE, UPON RECEIPT OF SUCH DATA, IS NOT RESPONSIBLE FOR THE USE OR MISUSE OF SUCH DATA. THE USER AND RECIPIENT OF THE ELECTRONIC DATA ACCEPTS FULL RESPONSIBILITY AND LIABILITY FOR ANY CONSEQUENCES ARISING OUT OF THEIR USE.

- SILT SPECIFIC NOTES:**
1. THE OWNER OF THE PROPERTY IS ATLAS HOTEL LP. THE SUBJECT PROPERTY IS LOT 1, BLOCK 1 TRADITIONS PHASE 27, COMMON AREAS 1-4. PROPERTY IS ZONED PD.
  2. THE TOTAL DISTURBED AREA FOR THIS PROJECT IS 10.49 ACRES (454,844 SF).
  3. THE SUBJECT TRACT DOES NOT USE WITHIN THE 100 YEAR FLOODPLAIN ACCORDING TO FEMA FLOOD INSURANCE RATE MAP FOR BRADCO COUNTY, TEXAS AND INCORPORATED AREAS, COMMON AREA 1, MAP NO. 2285, BRADCO COUNTY, TEXAS, DECEMBER 18, 2013.
  4. THE MINIMUM REQUIRED FLOW FOR A HOTEL BUILDING IS 18 OF 130,814 SF IS 4000 GALLONS PER MINUTE. THE BUILDING IS FULLY SPRINKLED WHICH DECREASES THE REQUIRED FLOW BY 50% (6500 GPM). TWO FIRE HYDRANTS ARE REQUIRED. THE FOUR EXISTING FIRE HYDRANTS WILL BE SUFFICIENT.
  5. PARKING LOT STRIPING OTHER THAN FIRE LANE STRIPING SHALL CONFORM TO TEXAS DEPARTMENT OF TRANSPORTATION (TxDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS, AND BRIDGES ITEM 666, TYPE 2 WARNING MATERIALS.
  6. THE FIRE SUPPRESSION LINE SHALL HAVE A LOGGING IN USE ON THE ISOLATION VALVE. THE LOGGING LID SHALL SUPPLY THE SAME PROTECTION AS THE AWP OR USA, L5822 LOCKING LID AT MINIMUM. AN ALTERNATIVE LOCKING LID SHALL BE APPROVED BY THE FIRE MARSHAL OR HIS DESIGNEE.
  7. CONTOURS SHOWN ARE FROM FIELD SURVEY DATA.
  8. ALL STORM SEWER IS PRIVATE. STORM SEWER COVERS SHALL BE LABELED PRIVATE AND SHALL NOT USE THE CITY OF BRYAN LOG ON COVERS.
  9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINMENT AND PROPER DISPOSAL OF ALL LIQUID AND SOLID WASTE ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE SCOURING OF SAND AND SILT FROM THE PROJECT SITE.
  10. THE CONTRACTOR IS REQUIRED TO PROVIDE CONTAINMENT FOR WASTE, PRIOR TO AND DURING DEMOLITION AND CONSTRUCTION. SOLID WASTE ROLL-OFF BOXES/METAL DUMPSTERS SHALL BE USED TO STORE AND REMOVE WASTE FROM THE PROJECT SITE.
  11. NORMAL DOMESTIC WASTEWATER IS ANTICIPATED TO BE DISCHARGED FROM THIS DEVELOPMENT.
  12. ALL BACKFLOW DEVICES MUST BE INSTALLED AND TESTED UPON INSTALLATION AS PER CITY ORDINANCE.
  13. THE DRAINAGE SYSTEM MUST BE PROTECTED BY EITHER AN ATMOSPHERIC OR A PRESSURE VACUUM BREAKER OR REDUCED PRESSURE PRINCIPLE BACK FLOW DEVICE AND INSTALLED AS PER CITY ORDINANCE.
  14. IF CONCRETE PAVEMENT TO BE PROVIDED FOR DUMPSTER LOCATIONS PER CITY OF BRYAN SPECIFICATIONS DUMPSTER CONTAINMENT AREAS SHALL BE REINFORCED WITH #6 BARS AT 12" PITCH AND THE PAD SHALL EXTEND AN ADDITIONAL 24" FROM THE PERIMETER OF CONTAINMENT AREA.
  15. FIRE SPRINKLER SYSTEM - POTABLE WATER SUPPLY MUST BE PROTECTED BY A TESTABLE DOUBLE CHECK VALVE ASSEMBLY AND INSTALL AS PER CITY ORDINANCE.
  16. ALL DEVICES, APPURTENANCES, APPLIANCES AND APPARATUS INTENDED TO SERVE SOME SPECIAL FUNCTION AND THAT CONNECTS TO THE WATER SUPPLY SYSTEM, SHALL BE PROVIDED WITH PROTECTION AGAINST BACKFLOW AND CONTAMINATION OF THE WATER SUPPLY.
  17. SAMPLING WELLS (POINTS) ARE REQUIRED TO BE LOCATED BETWEEN THE TRAD AND SANITARY SEWER MAIN OR PRIOR TO ANY DOMESTIC CONNECTION.
  18. GREASE TRAP SIZE (3000 GALLONS), REQUIRES VERIFICATION AND APPROVAL BY CITY CONTROL AUTHORITY. SUBMITTALS OF PLUMBING PLANS TO CITY REPRESENTATIVE (GREGORY COV) ARE REQUIRED PRIOR TO INSTALLATION FOR APPROVAL.



**ATLAS HOTEL**

**3.045 ACRES  
(10.49 ACRES DISTURBED)**

**BLOCK 1, LOT 1  
COMMON AREAS 1-4**

**TRADITIONS SUBDIVISION  
PHASE 27  
VOL. 12534, PG. 210  
J.H. JONES SURVEY, A-26  
BRYAN, BRADCO COUNTY, TEXAS**

**SCALE: 1"=40'**

**MAY 2015**

**SURVEYOR:**  
Brod Kerr, R.P.L.S. No. 4502  
Kerr Surveying, LLC  
408 N. Texas Avenue  
Bryan, TX 77803  
(979) 238-3165

**OWNER/DEVELOPER:**  
ATLAS HOTEL LP  
2100 TRADITIONS BLVD  
BRYAN, TEXAS 77807

**ENGINEER:**  
SCHULTZ ENGINEERING, LLC  
PO BOX 11995  
COLLEGE STATION, TX 77842  
(979)744-3900

Project No. 14-337  
Date: April 14, 2015  
Issue: NOT FOR CONSTRUCTION  
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COMMON AREA 1  
6.58 ACRES

LAKE ATLAS

BRYAN COMMERCIAL & DEVELOPMENT INC.  
REMAINDER OF 123.90  
ACRES  
4006/195

COMMON AREA 2  
2.70 ACRES  
12534/210

LOT 1  
3.045 ACRES  
12534/210

LOT 2  
0.327 ACRES  
12534/210

COMMON AREA 3  
2.70 ACRES  
12534/210

PROPOSED BUILDING  
8 STORES  
177 GUEST ROOMS  
10,165 SF MEETING SPACE  
FF = 341,00'

PROPOSED SALES TRAILER  
FF = 343,200'

PROJECT BENCH MARK  
TBM 1  
N: 1003994.72  
E: 353841.28  
ELEV: 371.17'  
CORNER OF TRANSFORMER PAD  
TBM 2  
N: 1003994.73  
E: 353828.64  
ELEV: 342.51'  
CORNER OF TRANSFORMER PAD

PROPOSED FUTURE COMPUTER LOCATION

PROPOSED COOLING TOWER

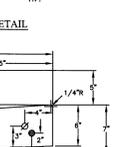
PROPOSED ELECTRICAL CONTROL

PROPOSED TRANSFORMER AREA

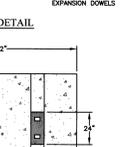
PROPOSED UNDERGROUND ELECTRIC LINE



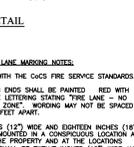
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TYPICAL CURB DETAIL  
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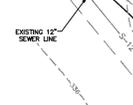
BIKE RACK DETAIL  
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ADA SIGN DETAIL  
N.T.S.



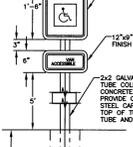
TYPICAL CONCRETE PAVING SECTION DETAIL  
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LOADING/UTILITY SERVICE AREA



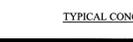
LEGEND



PARKING ANALYSIS



UTILITY DEMAND



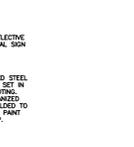
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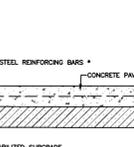
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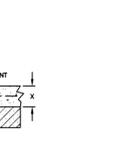
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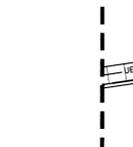
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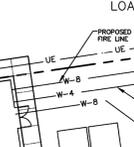
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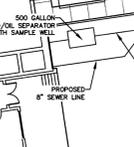
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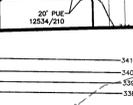
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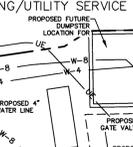
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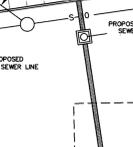
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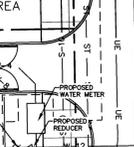
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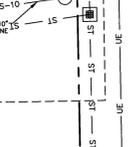
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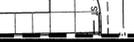
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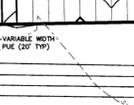
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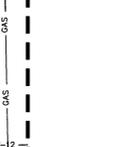
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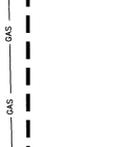
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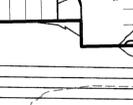
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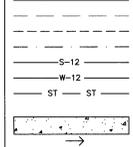
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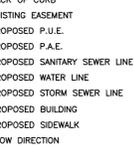
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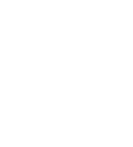
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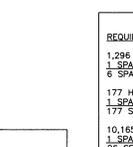
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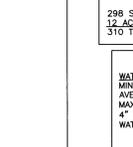
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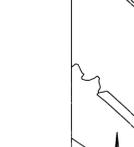
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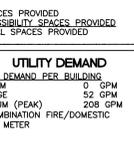
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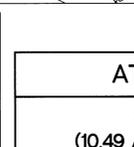
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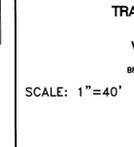
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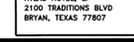
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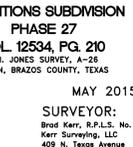
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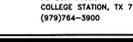
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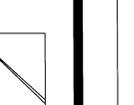
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