

- Site Specific Notes:**
- The owner & developer of the property is Bryan HWY 21 Property, LLC. The subject property is Lot 2R, Block 1 of the Get-N-Go Subdivision.
 - The property is zoned C-3, Commercial.
 - Proposed use and improvements: convenience store with associated fuel station, parking, utilities, and landscaping. The proposed building is one-story with a total of 5,500 SF.
 - This lot is not within the 100-yr floodplain according to the FIRM for Brazos County, Texas and Incorporated Areas, Map No. 48041C0195E, effective May 16, 2012.
 - Total disturbed area for this project is 0.805 acres (35,065 SF).
 - Standard City of Bryan setback lines shall apply to this lot.
 - Drainage information and details will be provided on the Grading Plans.

- Construction Notes:**
- All fill subgrade and base material shall be in accordance with the Bryan/College Station 2012 Standard Specifications for Water & Sewer and the City of Bryan Standard Specifications for Streets & Drainage.
 - All concrete to be constructed with 4,000 psi (Min) - 28 day strength portland cement concrete.
 - All items to be removed during clearing and grubbing. Remove not only the above ground elements, but all underground elements as well. All excavated material shall become the property of the contractor unless otherwise directed by the Owner. All debris must be disposed of off site.
 - Prior to grading operations, contractor is to strip the first 6" of soil. Contractor shall proof roll the entire site and remove any unstable materials according to TxDOT Specifications. Select fill is to be used in replacing objectionable material.
 - Assure positive drainage across project site to the storm water structures.
 - Normal Domestic Wastewater is anticipated to be discharged from this development.
 - Potable Water Protection - All devices, appurtenances, appliances, and apparatus intended to serve some special function and that connects to the water supply system, shall be provided with protection against backflow and contamination of the water supply system.
 - Irrigation System - Potable water supply must be protected by either an atmospheric or pressure vacuum breaker, or testable double check valve assembly, and installed per City Ordinance.
 - Each utility contractor is responsible for positioning and trenching of service lines. Mark all lines with utility tape. Utility contractors are responsible for coordinating with paving contractor in placement and installation of any necessary utility conduit prior to subgrade preparation. Lines requiring slope control are to be installed first. All other lines not requiring slope control or elevation shall be installed deepest first. Each contractor is responsible for knowing final determination of installation order.
 - Materials and methods for pavement markings shall conform to TxDOT Standard Specifications for Construction of Highways, Streets, and Bridges (current edition) with the following exceptions: 1) Type II marking materials need not be purchased from the Department, and 2) Glass beads may be omitted, but marking material shall be Type II paint-type material.
 - The Contractor shall be responsible for the containment and proper disposal of all liquid and solid waste associated with this project. The Contractor shall use all means necessary to prevent the occurrence of windblown litter from the project site.
 - Demolition/Construction Waste - Site is required to provide containment for waste prior to and during demolition/construction. Solid waste roll off boxes and/or metal dumpsters shall be supplied by City to permitted contractor(s) only.

Parking Analysis:

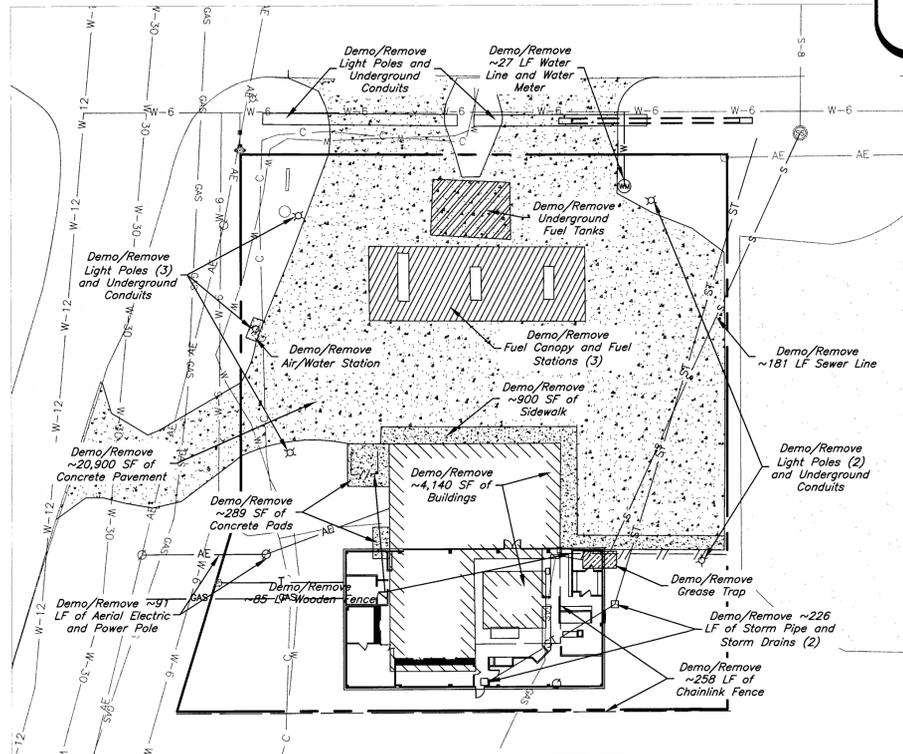
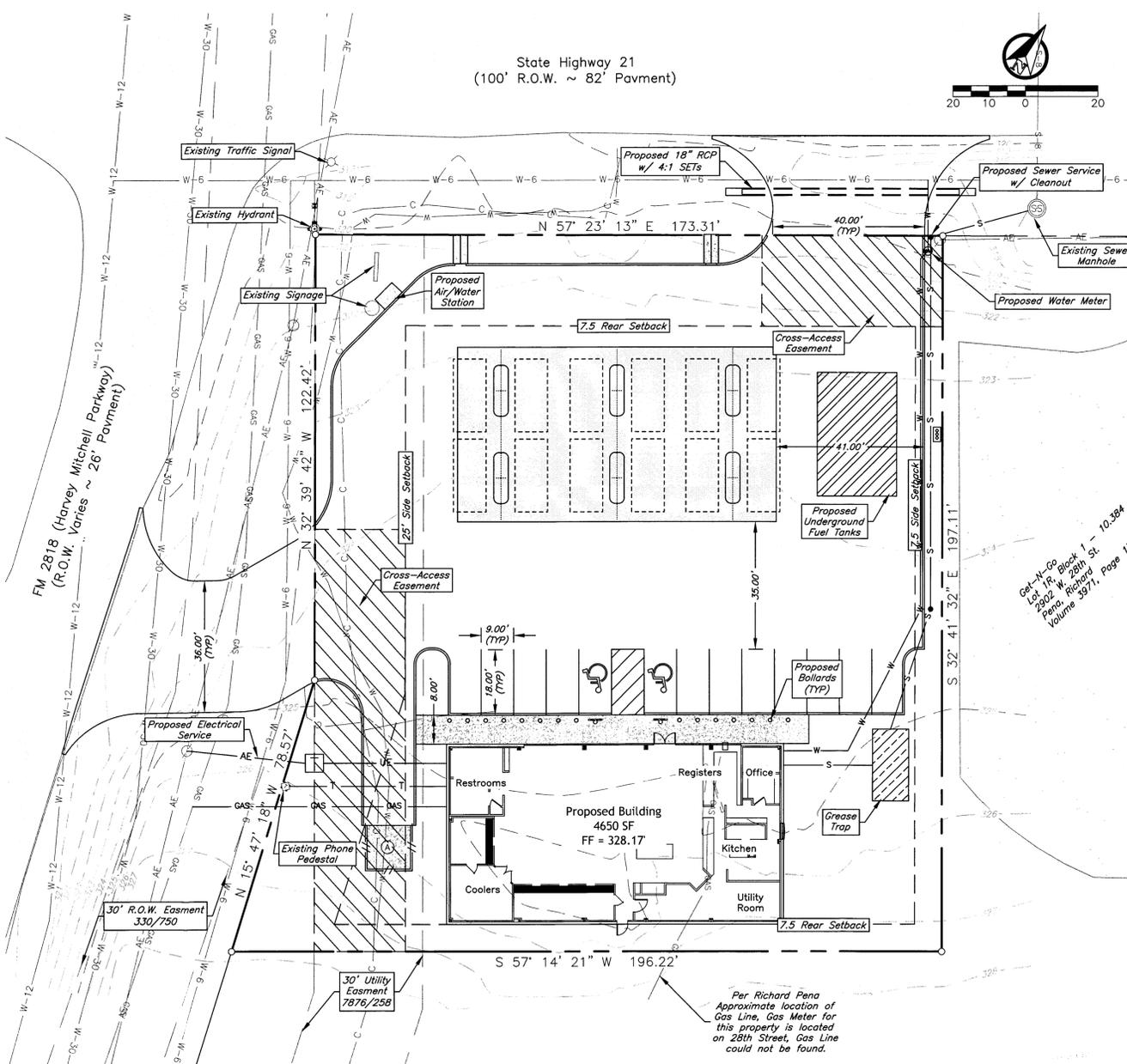
Proposed Improvements:	5,000 SF Convenience Store
	5,000 SF Total Retail Area
New Required Parking:	20... 1 Space per 250 SF GC-General Commercial
New Provided Parking:	11... Straight in Parking 2... ADA Parking w/Van Accessible 12... Fuel Island Parking 25... Total Provided

NOTICE!

The contractor is specifically cautioned that the location and/or elevation of the existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. It is the contractor's responsibility to avoid all existing utilities and repair any damaged lines, at his own expense, whether the utility is shown on these plans or not. The contractor shall notify the appropriate utility company 48 hours prior to any excavation.

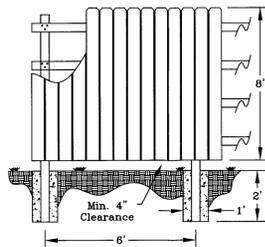
Contact Information:

Texas One Call: 800-245-4545
 Lone Star One Call: 800-669-8344
 Texas Excavation Safety: 800-344-8377
 System (DigTess)
 Bryan Texas Utilities: 979-821-5865
 Atmos Energy: 978-774-2506
 Verizon: 979-821-4300
 Suddenlink: 979-846-2229

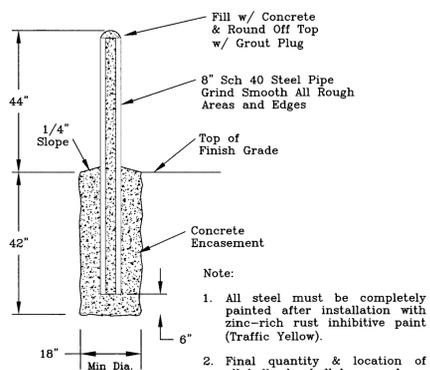


Demolition Plan
N.T.S.

- Notes:**
- All lumber shall be weather-resistant cedar.
 - Pickets are to be 1x6, dog-eared, fastened w/ 1 1/2" galv. screws, min 2 per connection. Pickets shall be dried for 30 days prior to application of 2 coats of stain.
 - Rails (4) to be 2x4 fastened w/ 3" galv. screws, min. 3 per connection.
 - Posts are to be 8 gauge, 2 1/2" (Min.) metal posts, placed 6' O.C. and set in 3,000 psi concrete. Galvanized caps shall be installed on each post.



Screen Fence
N.T.S.



Typical Bollard Detail
N.T.S.

Legend:

---	Existing Conditions
- - - -	Proposed Construction
-S-	Easements
-S-	Sewer Lines
-W-	Water Service Lines
-W-	Water Lines
-AE-	Overhead Electrical
-UE-	Underground Electrical
-SILT-	Silt Fence
-// // //	Chain Link Fence
-T-	Wood Fence
-T-	Telephone
-320-	Existing Contour
-320-	Proposed Contour
WM	Water Meter
SM	Sanitary Sewer Manhole
HD	Hydrant
VA	Valve

Site Plan

General Notes:

- The topography shown is from field survey data.
- Refer to Final Plat for all lot dimensions and bearings.
- All utilities shown are taken from the best available information based on construction utility documents obtained by J4 Engineering from City and Independent agencies and/or above ground field evidence. Shown positions may not represent as-built conditions.
- The contractor shall be responsible for verifying the exact location of all existing underground utilities, whether shown on these plans or not. Notification of the utility companies 48 hours in advance of construction is required.
- Contractor is responsible for field verifying existing and proposed grades prior to any construction and reporting any inconsistencies to the Owner.
- All construction shall be in accordance with the current BCS Standard Specifications, Details, and Design Guidelines for Water, Sewer, Streets, and Drainage, unless otherwise noted.
- The contractor shall be responsible for the containment and proper disposal of all liquid and solid waste associated with the project and shall use all means necessary to prevent the occurrence of wind blown litter.
- It is the intent of these plans to comply with all City of Bryan guidelines, specifications & details.
- See Sheet C1 - General Notes

Preliminary Plans Only
Not for Construction

This document is released for the purpose of interim review under the authority of Glenn Jones, P.E. 97600 on Sep 2, 2015. It is not to be used for construction, bidding, or permitting purposes.

Released for Review

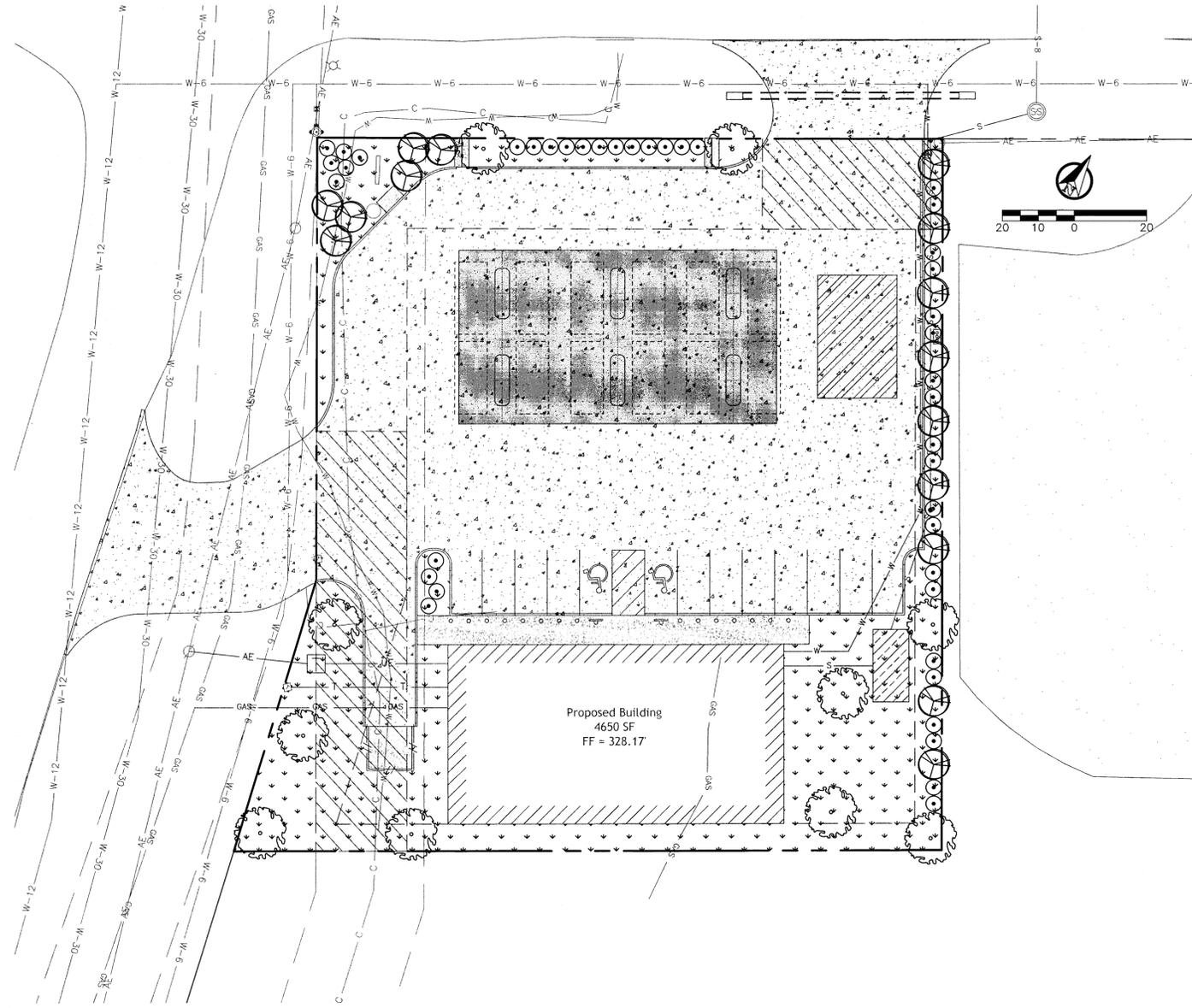
No.	Revision/Issue	Date

Firm Name and Address:
J4 Engineering
 PO Box 5192 - Bryan, Texas - 77805
 979-739-4567 www.J4Engineering.com
 Firm# 9951

Project Name and Address:
Get & Go Renovation
 2909 State Hwy 21
 Lot 2R, Block 1, Get-n-Go ~ 0.805 AC
 Bryan, Brazos County, Texas

Date: Aug 2015
 Scale: As Noted
 Sheet: C2

J&E Project # 15-054
08/28/2015 E-Get & Go - Site Planning
J&E Engineering



Landscape Analysis:

Construction Activities:	
Parking & Pavement	= 25,558 SF
Building	= 5,000 SF
Net Total	= 30,558 SF
Requirements:	
Building, Parking, & Pavement	= 4,584 SF
30,558 SF @ 15%	Net Total = 4,584 SF
Provided:	
Canopy Trees	= 2,000 SF
10 @ 200 SF	
Non-Canopy Trees	= 2,250 SF
15 @ 150 SF	
Shrubs	= 370 SF
37 @ 10 SF	Net Total = 4,620 SF

Symbol	Qty.	Common Name	Botanical Name	Size
	10	Live Oak	Quercus virginiana	2" cal.
	15	Crepe Myrtle	Lagerstroemia indica	1 1/2" cal.
	37	Waxleaf Ligustrum Shrub	Ligustrum japonicum	2 Gallon

Landscape Notes:

- All disturbed area to be seeded with Bermuda Grass except where Bermuda Grass Sod is called for on the plans.
- "Cal." indicates caliper at 12" above the ground.
- All trees shall be provided as container grown trees.
- All landscaping plant material shall be guaranteed for a period of one year from the date of installation by contractor. After one year, the owner will be responsible for maintenance of all landscaping.
- Plant material shown here is represented at its mature size. Plants to be installed will be significantly smaller than those shown and should not be expected to reach maturity for several years dependant on growing conditions.
- Contractor is to seed all disturbed areas left unpaved and guarantee coverage of vegetation until establishment of grass. Grass type shall be Bermuda grass or Rye/Bermuda mixture.
- Plant material will be watered by hose bibs located at building corners.
- Plantings for parking lot screening (Crepe Myrtles) shall be planted a maximum of 3 feet from the edge of parking lot pavement. No Plantings shall be placed directly over existing water/sewer lines.

Landscape Plan

General Notes:

- An irrigation system to service all new plantings will be inserted by a certified installer prior to a certificate of occupancy being issued.
- Irrigation system must be protected by either a pressure vacuum breaker, reduced pressure principle back flow device, or a double-check back flow device and installed as per city ordinance 2394.
- All back backflow devices must be installed and tested upon installation as per city ordinance 2394.
- Contractor/developer to furnish accurate as built irrigation plans to city of Bryan parks department. Show lines, valves, heads, controller, wiring, etc.
- 100% coverage of groundcover, decorative paving, decorative rock(not loose), or perennial grass is required in parking lot islands, swales and drainage areas, the parking lot setback, right-of-way and adjacent property disturbed during construction.
- It is the intent of these plans to comply with all City of Bryan guidelines, specifications & details.
- See Sheet C1 - General Notes

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