



SCALE: 1" = 30'

STOP!
CALL BEFORE YOU DIG
TEXAS ONE CALL SYSTEM
1-800-245-4545
(AT LEAST 72 HOURS PRIOR TO DIGGING)
WARNING: THE CONTRACTOR IS TO LOCATE ANY AND ALL UTILITIES PRIOR TO CONSTRUCTION AND IS SOLELY RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES DUE TO ANY CONSTRUCTION ACTIVITY.

BRAZOS COUNTY INDUSTRIAL PARK, PHASE 3
(VOL. 500, PG. 917)
N/F
LUBRIZOL SPECIALTY PRODUCTS, INC.
LOT 6B, BLOCK ONE
CALLED: 7.083 ACRES
ZONED: INDUSTRIAL
- ASPHALT PAVEMENT -

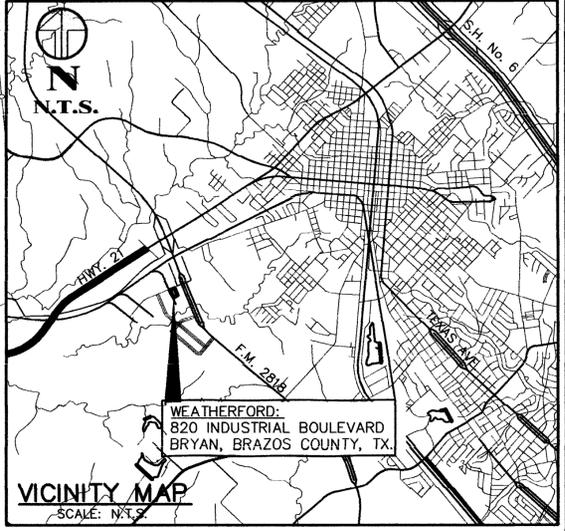
PROPERTY INFORMATION
BRAZOS COUNTY INDUSTRIAL PARK, PHASE 3
LOT 6A, BLOCK ONE
9.083 ACRES
(VOL. 500, PG. 917)
NOW OR FORMERLY
WEATHERFORD ARTIFICIAL LIFT SYSTEMS, INC.
(VOL. 7695, PG. 197)
ZONED: INDUSTRIAL

- SITE # LEGEND**
- 6' HIGH CHAIN LINK FENCE w/3 STRAND BARBED WIRE (SLATS LOCATIONS VERIFY)
 - RELOCATE EXISTING 40' ROLLER GATE & CONTROLLER (SEE SITE NOTE #15)
 - THICKENED EDGE (FULL LENGTH ALONG ADJOINING PAVEMENT)
 - CONCRETE CURB (TYPE 3)
 - 6' WIDE CONCRETE DRAINAGE FLUME
 - 6' WIDE CONCRETE PILOT CHANNEL (TYPE 1)
 - 30' WIDE CONCRETE DRIVEWAY
 - STORAGE YARD (CEMENT LESTONE BASE PAVEMENT)
 - RELOCATE W.F.T. SAFETY SIGN (COORDINATE LOCATION w/OWNER)
 - INSTALL FIXED PIPE BOLLARDS AROUND EXISTING LIGHT POLE BASE
 - GATE OPERATOR w/CONCRETE PAD & PIPE BOLLARDS
 - RELOCATE EXISTING GATE KEYPAD
 - NEW LIGHT POLE & CONCRETE BASE
 - 200 S.F. OF CONCRETE PATCH FOR DETECTOR LOOP & CONDUIT - REPLACE EXISTING CURB & GUTTER (AS REQUIRED)
 - 6" THICK CONCRETE PAD (18" WIDE) FOR GATE ROLLERS

- SYMBOL & LINE LEGEND**
- PP POWER POLE
 - LP LIGHT POLE
 - WV WATER VALVE
 - WM WATER METER
 - BFP BACKFLOW PREVENTOR
 - ET ELECTRICAL TRANSFORMER
 - FB ELECTRICAL PULL BOX
 - EM ELECTRICAL METER
 - GM GAS METER
 - MH MANHOLE
 - C.O. CLEANOUT
 - FH FIRE HYDRANT
 - TP TELEPHONE PEDESTAL
 - AI AREA INLET
 - JB JUNCTION BOX
 - PIV POST INDICATOR VALVE
 - CI CURB INLET
 - PL PROPERTY LINE
 - EL EASEMENT LINE

- PLAN NOTES:**
- REFER TO SHEETS C0.1 FOR SITE, PARKING, PAVING, AND MISCELLANEOUS CONSTRUCTION NOTES.
 - REFER TO SHEET C1.3 FOR ADDITIONAL SITE PLAN DATA.
 - REFER TO SHEET C2.0 FOR SITE, PARKING & PAVING DETAILS.
 - UNLESS OTHERWISE NOTED ALL RADII ARE 4.0' ALONG THE BACK OF CURB.

- PAVEMENT LEGEND**
- CONTROL JOINT
 - CONSTRUCTION JOINT
 - EXPANSION JOINT
 - CONCRETE PAVING
 - STORAGE YARD PAVING



VICINITY MAP
SCALE: N.T.S.

CIVIL SITE NOTES:

- NO PORTION OF THE REMAINING TRACT APPEARS TO LIE WITHIN A DESIGNATED 100-YEAR FLOOD PLAIN ACCORDING TO THE FEMA FIRM MAP PANEL NO. 48041C 0195E, REVISED DATE: JULY 7, 2014.
 - WHEN BUILDING SETBACKS AND EASEMENT LINES OVERLAP ONLY THE EASEMENT LINE IS SHOWN.
 - 100% COVERAGE OF GROUND COVER, DECORATIVE PAVING, DECORATIVE ROCK (LOOSE ROCK NOT PERMITTED), OR A PERENNIAL GRASS IS REQUIRED IN PARKING LOT ISLANDS, SWELLS AND DRAINAGE AREAS, THE PARKING LOT SET BACK, RIGHT-OF-WAY, AND ADJACENT PROPERTY DISTURBED DURING CONSTRUCTION.
 - THE IMPROVEMENTS SHOWN SHALL CONSTITUTE APPROXIMATELY 85% IMPERVIOUS COVER ON THE SUBJECT PROPERTY. TYPE 1 DETENTION WILL BE REQUIRED FOR THIS DEVELOPMENT.
 - ALL CURBING ILLUSTRATED ON THIS SITE PLAN SHALL BE 6" RAISED CONCRETE CURBS (SEE DETAILS ON SHEET C2.0). ALL NEW STORAGE YARD PAVEMENT WILL BE CEMENT STABILIZED LESTONE BASE AND NEW DRIVEWAYS WILL BE CONCRETE AND 10" THICK IN ALL AREAS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINMENT AND PROPER DISPOSAL OF ALL LIQUID AND SOLID WASTE ASSOCIATED WITH THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE OCCURRENCE OF WIND BLOWN LITTER FROM THE PROJECT SITE.
 - THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE CONTAINMENT FOR WASTE PRIOR TO, AND DURING, DEMOLITION/CONSTRUCTION. SOLID WASTE ROLL-OFF BOXES/METAL DUMPSTERS SHALL BE SUPPLIED BY CITY OR CITY PERMITTED CONTRACTOR(S) ONLY.
 - THE PROPOSED IMPROVEMENTS CONTAINED IN THESE SITE DRAWINGS WILL NOT CREATE ANY ADDITIONAL SOLID WASTE. EXISTING SOLID WASTE FACILITIES WILL BE UTILIZED.
 - SEE SHEET C1.0 - EROSION CONTROL PLAN FOR CONCRETE WASH-OUT LOCATION AND DETAIL.
 - THE INTENDED USE FOR THIS DEVELOPMENT IS INDUSTRIAL EQUIPMENT AND MATERIALS STORAGE.
 - WASTEWATER GENERATED BY CLEANING/WASHING OF EQUIPMENT OR VEHICLES DISCHARGES INTO THE EXISTING OIL/SAND SEPARATORS. SANITARY SEWER GENERATED FROM THIS SITE WILL BE NORMAL DOMESTIC WASTEWATER BY DEFINITION. FOOD SERVICES WILL NOT BE PROVIDED BY THE MANUFACTURING AND/OR PREPARING FOOD ITEMS TO PUBLIC/CUSTOMERS.
 - SITE LIGHTING, DIRECTIONAL SIGNS, MENU BOARDS, DETECTORS & OTHER SITE APPURTENANCES ARE SHOWN FOR REFERENCE AND ILLUSTRATION ONLY. THE CONTRACTOR SHALL COORDINATE THESE ITEMS' INSTALLATIONS WITH THE PROPER DESIGN CONSULTANT. FREE-STANDING SIGNS AND BUILDING SIGNAGE IS PERMITTED SEPARATELY AND MUST COMPLY WITH THE CITY ORDINANCES. BUILDING SIGNAGE IS PERMITTED SEPARATELY AND MUST COMPLY WITH THE LAND & SITE DEVELOPMENT ORDINANCE AND THE LIMITATIONS APPLICABLE TO THIS DEVELOPMENT PER SECTION 62-564.
 - ALL SIGNAGE AND MARKINGS SHALL BE PROVIDED IN ACCORDANCE WITH TxDOT MUTCD STANDARDS (SEE DETAILS ON SHEET C2.0).
- FIRE DEPARTMENT SECTION OF NOTES:**
- NO COMBUSTIBLES WILL BE ALLOWED ON SITE UNTIL ALL-WEATHER ROADS AND FIRE HYDRANTS HAVE BEEN ACCEPTED BY THE CITY.
 - THE MINIMUM CLEAR SPACE, WHEN FULLY OPEN, SHALL BE TWENTY FEET (20') FOR ALL VEHICULAR SECURITY GATES. GATES WILL EITHER ROLL AND "COLLAPSE" INTO THE FENCE OR SWING INTO THE YARD. ALL GATES SHALL BE EQUIPPED WITH KNOX ENTRY BASED UPON FIRE DEPARTMENT REQUIREMENTS. THE MAXIMUM VERTICAL CLEARANCE, BETWEEN THE BOTTOM OF THE GATE AND THE PAVEMENT/GRADE, THAT SHALL EXISTING WHEN THE GATE IS FULLY CLOSED SHALL BE LIMITED TO SIX (6) INCHES.
 - FIRE LANE WORDING AND SPACING SHALL CONFORM TO CITY OF BRYAN ORDINANCE, SECTION 42-6(3)A AND 42-6(3)A(2).

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EMAIL: civil@rmengineer.com
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FAX - (979) 764-0704
TEXAS FIRM REGISTRATION No. F-4695

SURVEYOR
KERR SURVEYING, LLC
409 NORTH TEXAS AVENUE
BRYAN, TX 77803
OFF: (979) 268-3195
FAX: (979) 691-8904

PRELIMINARY
95% COMPLETE
ISSUED FOR REVIEW ONLY
9/10/15

PRELIMINARY

CIVIL SITE & PAVING PLAN
FOR THE
WEATHERFORD INDUSTRIAL BOULEVARD
BRYAN, TX
LOT 6A, BLOCK 1 - BRAZOS COUNTY INDUSTRIAL PARK, PH. 3
BRAZOS COUNTY, TEXAS
SEP 15 2015

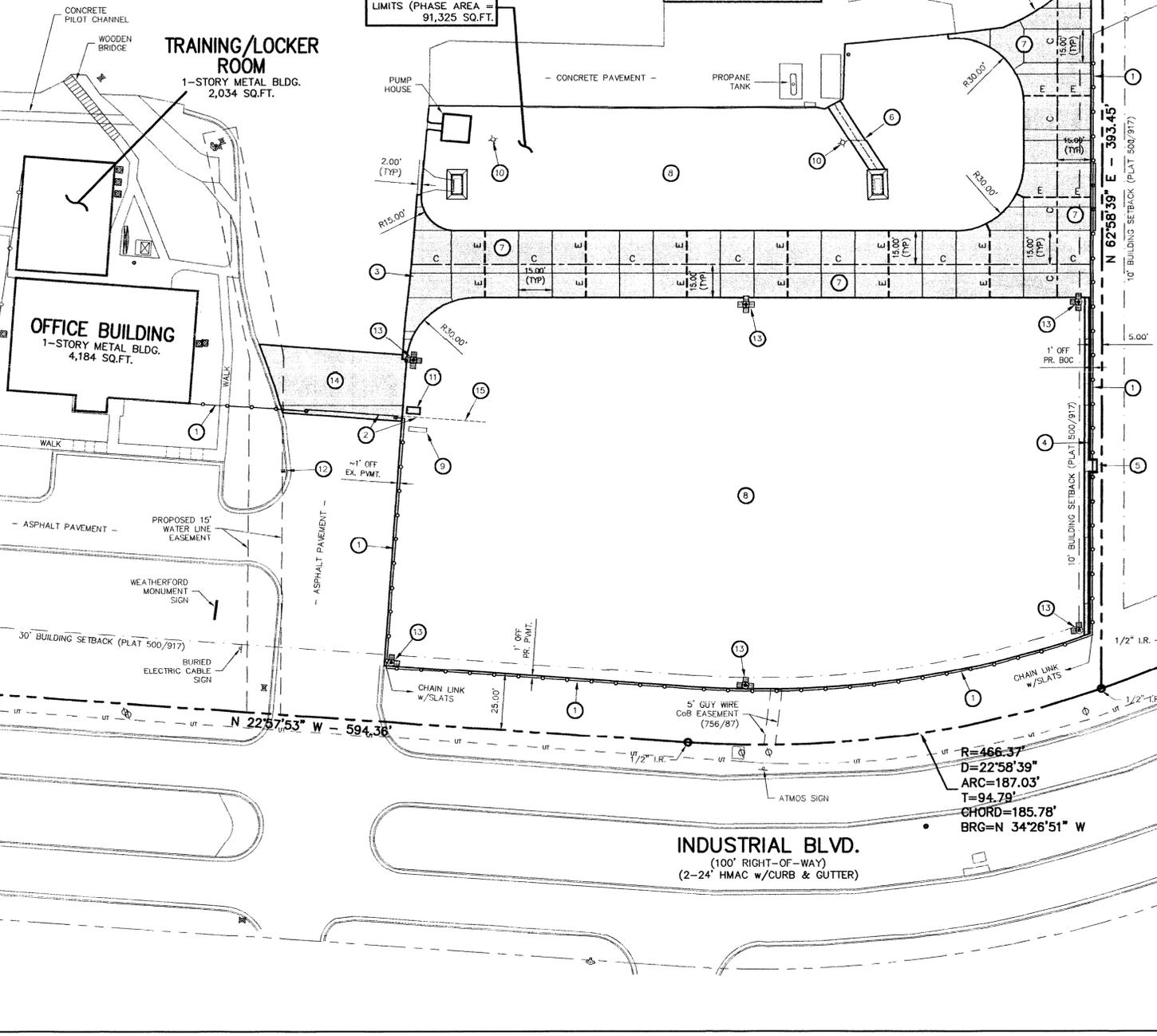
CLIENT INFORMATION
WEATHERFORD
c/o BRIAN JERNIGAN
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HOUSTON, TX 77056
PH: (713) 836-6381
EMAIL: BRIAN.JERNIGAN@WEATHERFORD.COM

FILENAME: 0581SP1A SCALE: 1"=30'
SUBMITTED DATE: 8/31/15, 9/10/15

DRAWN BY: R.A.M. CHECKED BY: R.A.M.
FIELD BOOK: N/A PAGES: N/A

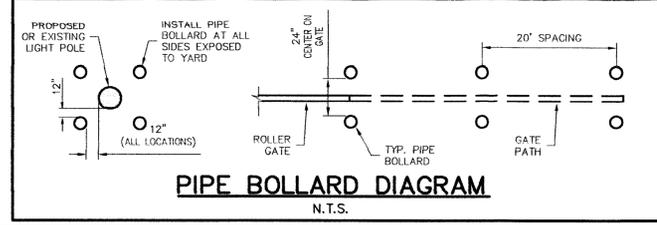
RME CONSULTING ENGINEERS
CLIENT NO. PROJECT NO.
308 - 0581

C1.1
SHEET 4 OF 9



BRAZOS COUNTY INDUSTRIAL PARK, PHASE 3
(VOL. 500, PG. 917)
N/F
LUBRIZOL SPECIALTY PRODUCTS, INC.
LOT 6B, BLOCK ONE
CALLED: 7.083 ACRES
ZONED: INDUSTRIAL

$R=466.37'$
 $D=22^{\circ}58'39''$
 $ARC=187.03'$
 $T=94.79'$
 $CHORD=185.78'$
 $BRG=N 34^{\circ}26'51'' W$



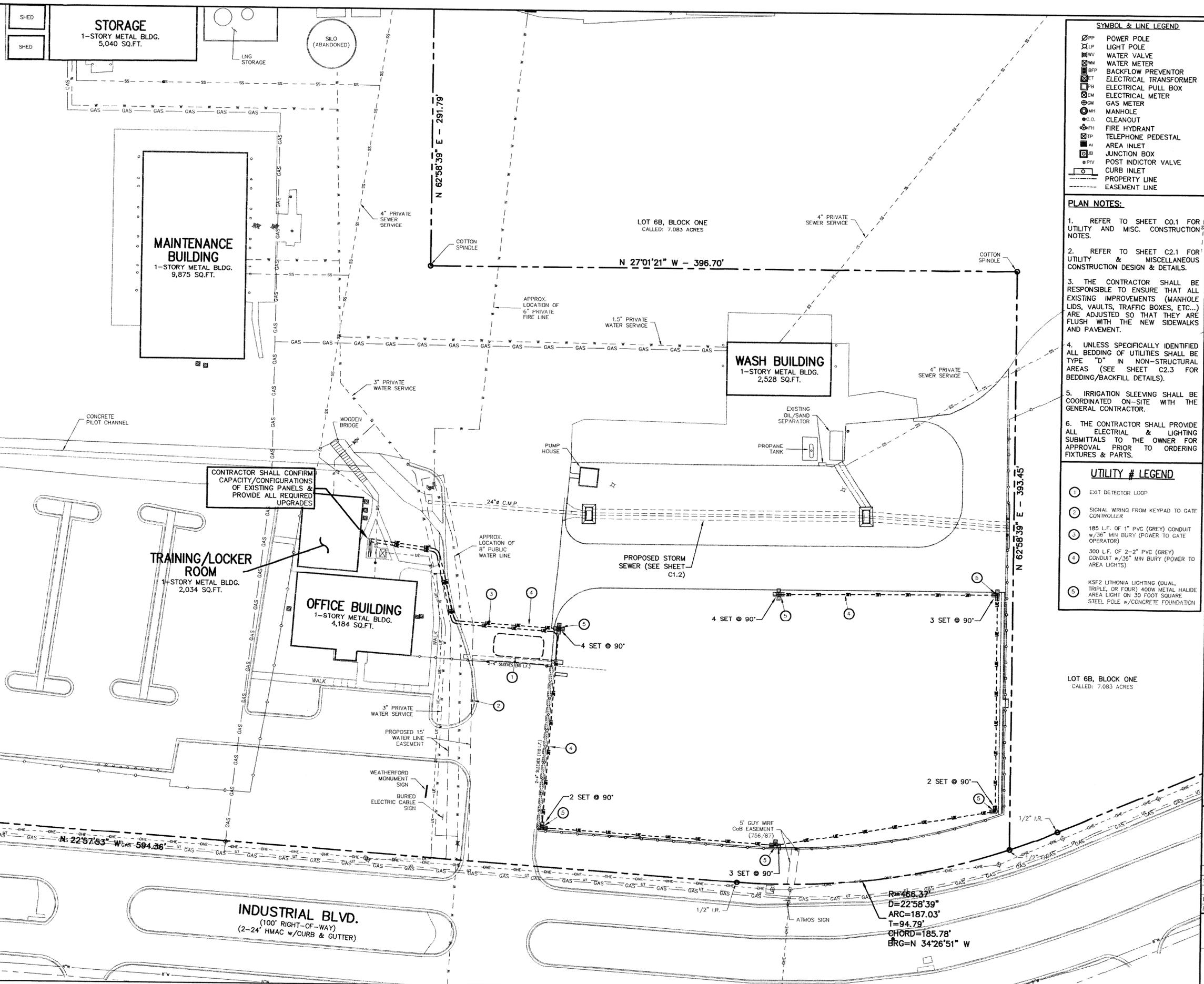
PIPE BOLLARD DIAGRAM
N.T.S.



PLAN NORTH

SCALE: 1" = 30'

STOP!
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TEXAS ONE CALL SYSTEM
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WARNING: THE CONTRACTOR IS TO LOCATE ANY AND ALL UTILITIES PRIOR TO CONSTRUCTION AND IS SOLELY RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES DUE TO ANY CONSTRUCTION ACTIVITY.



SYMBOL & LINE LEGEND

⊙PP	POWER POLE
⊙LP	LIGHT POLE
⊙WV	WATER VALVE
⊙WM	WATER METER
⊙BFP	BACKFLOW PREVENTOR
⊙ET	ELECTRICAL TRANSFORMER
⊙PB	ELECTRICAL PULL BOX
⊙EM	ELECTRICAL METER
⊙GM	GAS METER
⊙MH	MANHOLE
⊙C.O.	CLEANOUT
⊙FH	FIRE HYDRANT
⊙TP	TELEPHONE PEDESTAL
⊙AI	AREA INLET
⊙JB	JUNCTION BOX
⊙PIV	POST INDICATOR VALVE
⊙CIB	CURB INLET
⊙PIL	PROPERTY LINE
---	EASEMENT LINE

- PLAN NOTES:**
- REFER TO SHEET C0.1 FOR UTILITY AND MISC. CONSTRUCTION NOTES.
 - REFER TO SHEET C2.1 FOR UTILITY & MISCELLANEOUS CONSTRUCTION DESIGN & DETAILS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL EXISTING IMPROVEMENTS (MANHOLE LIDS, VAULTS, TRAFFIC BOXES, ETC...) ARE ADJUSTED SO THAT THEY ARE FLUSH WITH THE NEW SIDEWALKS AND PAVEMENT.
 - UNLESS SPECIFICALLY IDENTIFIED ALL BEDDING OF UTILITIES SHALL BE TYPE "D" IN NON-STRUCTURAL AREAS (SEE SHEET C2.3 FOR BEDDING/BACKFILL DETAILS).
 - IRRIGATION SLEEVING SHALL BE COORDINATED ON-SITE WITH THE GENERAL CONTRACTOR.
 - THE CONTRACTOR SHALL PROVIDE ALL ELECTRICAL & LIGHTING SUBMITTALS TO THE OWNER FOR APPROVAL PRIOR TO ORDERING FIXTURES & PARTS.

UTILITY # LEGEND

1	EXIT DETECTOR LOOP
2	SIGNAL WIRING FROM KEYPAD TO GATE CONTROLLER
3	185 L.F. OF 1" PVC (GREY) CONDUIT w/3/8" MIN BURY (POWER TO GATE OPERATOR)
4	300 L.F. OF 2-2" PVC (GREY) CONDUIT w/3/8" MIN BURY (POWER TO AREA LIGHTS)
5	KSF2 LITHONIA LIGHTING (DUAL, TRIPLE, OR FOUR) 400W METAL HALIDE AREA LIGHT ON 30 FOOT SQUARE STEEL POLE w/CONCRETE FOUNDATION

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PRELIMINARY 95% COMPLETE ISSUED FOR REVIEW ONLY 9/10/15

PRELIMINARY

ON-SITE UTILITY PLAN
FOR THE
WEATHERFORD INDUSTRIAL BOULEVARD
BRYAN, TX
LOT 6A, BLOCK 1 - BRAZOS COUNTY, TEXAS

CLIENT INFORMATION
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c/o BRIAN JERNIGAN
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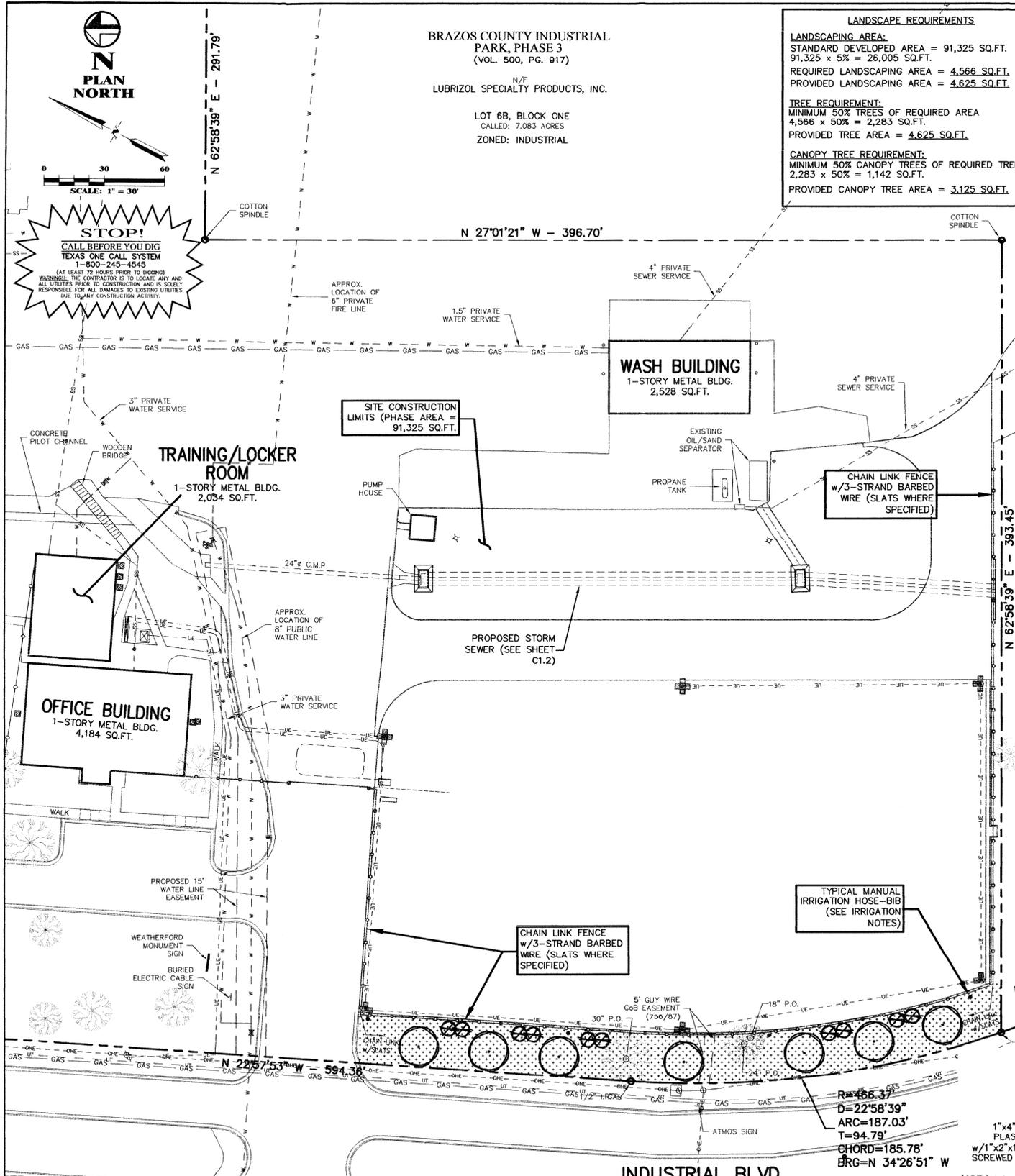
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FIELD BOOK: N/A | PAGES: N/A

RME CONSULTING ENGINEERS
CLIENT NO. PROJECT NO.
308 - 0581

C1.3
SHEET 6 OF 9

CONTRACTOR SHALL CONFIRM CAPACITY/CONFIGURATIONS OF EXISTING PANELS & PROVIDE ALL REQUIRED UPGRADES

R=166.32'
D=22°58'39"
ARC=187.03'
T=94.79'
CHORD=185.78'
BRG=N 34°26'51" W



LANDSCAPE REQUIREMENTS

LANDSCAPING AREA:
 STANDARD DEVELOPED AREA = 91,325 SQ.FT.
 91,325 x 5% = 26,005 SQ.FT.
 REQUIRED LANDSCAPING AREA = 4,566 SQ.FT.
 PROVIDED LANDSCAPING AREA = 4,625 SQ.FT.

TREE REQUIREMENT:
 MINIMUM 50% TREES OF REQUIRED AREA
 4,566 x 50% = 2,283 SQ.FT.
 PROVIDED TREE AREA = 4,625 SQ.FT.

CANOPY TREE REQUIREMENT:
 MINIMUM 50% CANOPY TREES OF REQUIRED TREES
 2,283 x 50% = 1,142 SQ.FT.
 PROVIDED CANOPY TREE AREA = 3,125 SQ.FT.

SYMBOL & LINE LEGEND

- ⊗ PP POWER POLE
- ⊗ LP LIGHT POLE
- ⊗ WV WATER VALVE
- ⊗ WM WATER METER
- ⊗ BFP BACKFLOW PREVENTOR
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- ⊗ TP TELEPHONE PEDESTAL
- ⊗ AI AREA INLET
- ⊗ JB JUNCTION BOX
- ⊗ PIV POST INDICATOR VALVE
- ⊗ CIB CURB INLET

— PROPERTY LINE
 - - - EASEMENT LINE
 ▭ SOLID SOD AREAS (TIF 419 BERMUDA)
 ▨ COMMON BERMUDA SEEDING AREAS

PLAN NOTES:

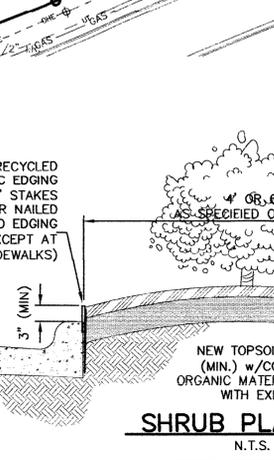
- REFER TO SHEET C0.1 FOR MISCELLANEOUS CONSTRUCTION NOTES.
- REFER TO SHEET C1.3 FOR UTILITY INFORMATION & SLEEVING LOCATIONS.

LANDSCAPING NOTES:

- THE LANDSCAPE PLAN PRESENTED WAS PREPARED BY RME CONSULTING ENGINEERS (RME). RME IS NEITHER A LICENSED LANDSCAPE ARCHITECT NOR IRRIGATOR. THIS PLAN WAS PREPARED FOR THE SOLE PURPOSE TO MEET THE CITY OF BRYAN (C08) SITE DEVELOPMENT ORDINANCE AND OBTAIN DEVELOPMENT PERMITS. ANY CHANGES MADE TO THIS PLAN SHALL BE SUBMITTED TO THE C08 DEVELOPMENT SERVICES DEPARTMENT FOR REVIEW AND APPROVAL.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF QUANTITIES IN THE PLANT LIST. ANY DISCREPANCIES BETWEEN QUANTITIES ON THE PLAN AND THE PLANT LIST SHALL BE BROUGHT TO THE ATTENTION OF THE INSPECTOR AND ANY FIELD ADJUSTMENTS OR QUANTITY ADJUSTMENTS MUST BE AUTHORIZED PRIOR TO PLANTING.
- 100% COVERAGE OF GROUND COVER, DECORATIVE PAVING, DECORATIVE ROCK, OR A PERENNIAL GRASS IS REQUIRED IN PARKING LOT ISLANDS, SWELLS AND DRAINAGE AREAS, THE PARKING LOT SET BACK, RIGHT-OF-WAY, AND ADJACENT PROPERTY DISTURBED DURING CONSTRUCTION.
- ANY ADJACENT PROPERTY AND RIGHT-OF-WAY DISTURBED DURING CONSTRUCTION WILL BE RETURNED TO ITS EXISTING CONDITIONS OR BETTER.
- ALL CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PROPOSED PARKING ISLANDS PRIOR TO PLACEMENT OF TOPSOIL AND PLANTING, INCLUDING CONCRETE, ASPHALT, LIMESTONE BASE MATERIAL, OR COMPACTED STABILIZED EARTH.
- THE CROWN OF ALL PLANTS SHALL BE SLIGHTLY HIGHER, AFTER SETTLING, THAN ADJACENT SOIL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING OR ADDING TOP SOIL, AS NEEDED, FOR THE INCLUSION OF THE SOIL AMENDMENTS, AS NEEDED, IN THE PREPARED GROUND COVER BEDS.
- ALL SINGLE TRUNK TREES ARE TO BE STAKED; HOSE AND GUY WIRES OVERLAPPED.
- COVER AREAS TO BE PLANTED WITH 3" APPROVED ORGANIC MULCH, 2" PINE BARK MULCH, AND 13-13-13 FERTILIZER AT THE RATE OF 5 LBS./100 SQ.FT. OF BED AREA.
- ALL DISTURBED AREAS, NOT DESIGNATED TO BE BLOCK SODDED, SHALL BE SEED WITH EITHER BERMUDA (2 LBS./1,000 SQ.FT.) FROM MARCH 15 TO SEPTEMBER 15 OR BERMUDA/RYE GRASS MIX (2 LBS./5 LBS. PER 1,000 SQ.FT.) FROM SEPTEMBER 16 TO MARCH 14.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING TREES AND SHRUBS THAT WILL MEET BOTH MINIMUM SIZE AND SPACING FOR TREE AND ZONING ORDINANCE COMPLIANCE. FAILURE TO INSTALL PLANT MATERIAL PER THIS PLAN WILL JEOPARDIZE ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY ALL LANDSCAPING SHALL BE INSTALLED.
- ALL TREES, SHRUBS AND PLANTS SHALL CONFORM TO ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN.
- ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
- PRUNING: THIN BRANCHES AND FOLIAGE (NOT ALL END TIPS) BY 1/3, RETAINING NORMAL PLANT SHAPE; NEVER CUT EVERGREEN LEADERS.
- THE TOP OF ALL ROOT BALLS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE, AS BORN TO PREVIOUS GRADE AND GROWING CONDITIONS.
- ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
- THE LANDSCAPE CONTRACTOR SHALL VERIFY EXISTING UNDERGROUND UTILITIES PRIOR TO PLANT INSTALLATION AND SHALL BE RESPONSIBLE FOR ANY DAMAGES DUE TO LANDSCAPE OPERATIONS.
- TOPSOIL SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AND USED FOR BACKFILLING ALL PITS FOR PLANTS. AVERAGE TOPSOIL MIXTURE SHALL CONSIST OF THREE (3) PARTS GOOD GARDEN SOIL, 1/2 PART PEAT MOSS, 1/2 PART MANURE OR BONE MEAL, AND ONE (1) POUND LIME PER CUBIC YARD.
- ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY CONDITION FOR ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER AND THE CITY OF BRYAN.
- ALL PLANT MATERIAL SHALL BE MULCHED WITH A MINIMUM 4" LAYER OF HARDWOOD BARK MULCH (UNLESS OTHERWISE SPECIFIED). PROVIDE MINIMUM 10' DIAMETER MULCH RING AROUND EXISTING TREES TO REMAIN, TYPICAL.
- MINIMUM TREE SIZE AT PLANTING IS SPECIFIED ON THE PLAN (FOR SINGLE STEM TREES). ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND BE THE MINIMUM SIZE SPECIFIED ON THE PLAN.
- ALL STRAPPING MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT, AND THE TOP 1/3 OF THE BURLAP MUST BE REMOVED FROM THE ROOT BALL.
- THE LANDSCAPE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES REGARDING LANDSCAPING.
- IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO ESTABLISH A HEALTHY STAND OF GRASS ON ALL SEEDING AREAS.
- IN THE EVENT THAT PLANTING BEDS AND MULCH ARE REQUIRED, THE LANDSCAPE CONTRACTOR SHALL INSTALL BLACK FABRIC MESH UNDER THE MULCH TO PREVENT WEED GROWTH.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WATERING AND THE MAINTENANCE OF ALL LANDSCAPED AREAS UNTIL THE LATER OF: (i) THIRTY (30) DAYS FOLLOWING THE PLANTING OF THE GRASS AND SHRUBS, OR (ii) THE DATE THAT THE FACILITY TO THE PUBLIC FOR BUSINESS.
- NO TREE PLANTING SHALL BE WITHIN 10 LATERAL FEET OF AN OVERHEAD UTILITY WIRE OR WITHIN 5 LATERAL FEET OF AN UNDERGROUND PUBLIC UTILITY LINE (ORDINANCE 62-431).
- THE AREA AROUND THE FREE-STANDING SIGN SHALL BE LANDSCAPED AS PER THE REQUIREMENTS IN SECTION 62-429.
- PROPOSED LANDSCAPING INSTALLED IN AREAS REQUIRING SCREENING WILL PROVIDE DENSE SHRUBBERY HAVING YEAR-ROUND FOLIAGE AT LEAST THREE FEET IN HEIGHT.
- THE DRIVEWAY THROUGH WINDOW MUST BE SCREENED FROM MARINO ROAD.
- TREES ALONG S.H. NO. 21 MAY NOT BE PLANTED WITHIN TEN FEET OF THE PROPOSED SANITARY SEWER LINE.
- LANDSCAPING AT THE INTERSECTION OF MARINO ROAD AND S.H. NO. 21 SHALL NOT INTERFERE WITH SITE DISTANCES OR IN ANY WAY CREATE A SAFETY HAZARD.

IRRIGATION NOTES:

- IRRIGATION SYSTEM (HOSE BIBS AT 100' MAXIMUM SPACING) SHALL BE INSTALLED FOR ALL NEW PLANTED AND LANDSCAPED AREAS. THIS MANUAL IRRIGATION SYSTEM MUST BE INSTALLED PRIOR TO ISSUANCE OF CERTIFICATION OF COMPLETION.
- THE IRRIGATION SYSTEM MUST BE PROTECTED BY EITHER A PRESSURE VACUUM BREAKER, A REDUCED PRESSURE PRINCIPLE BACK FLOW DEVICE, OR A DOUBLE CHECK BACK FLOW DEVICE. THE CONTRACTOR SHALL LOCATE AND TIE INTO THE EXISTING IRRIGATION MAIN.
- ALL BACK FLOW DEVICES MUST BE INSTALLED AND TESTED UPON INSTALLATION.
- INSTALLATION PVC (SCH 40) SLEEVING SHALL BE COORDINATED WITH THE CONTRACTOR AND ALL SLEEVING SHALL EXTEND A MINIMUM OF 24" PAST THE CURB OR SIDEWALK WHERE APPLICABLE.
- THE CONTRACTOR'S IRRIGATOR SHALL SUBMIT AN IRRIGATION PLAN TO THE OWNER FOR REVIEW AND APPROVAL. THE IRRIGATION PLAN SHALL DEMONSTRATE THAT THE IRRIGATION SYSTEM WILL SUFFICIENTLY SUPPLY ALL WATER NEEDS TO THE NEWLY PLANTED LANDSCAPING AND GROUND COVER AND MEET ALL INITIAL WATERING NEEDS FOR VIABLE ESTABLISHMENT AND GROWTH OF PLANTINGS.
- THE CONTRACTOR SHALL COORDINATE ALL SLEEVING REQUIRED FOR PUBLIC AND PRIVATE UTILITIES AND IRRIGATION AS DIRECTED BY THE OWNER.
- THE LANDSCAPE CONTRACTOR SHALL INSTALL AN IRRIGATION SYSTEM SUFFICIENT TO MEET LOCAL JURISDICTIONAL REQUIREMENTS OR SHALL BE SUFFICIENT TO PROPERLY IRRIGATE THE LANDSCAPING AND GRASS AREAS LOCATED IN THE FRONT YARD AND SIDE YARDS ADJACENT TO THE PARKING LOT.



LANDSCAPE SCHEDULE

SYMBOL	NO. OF PLANTS	SIZE	BOTANICAL NAME	COMMON NAME	TYPE	NOTES	SQ.FT. EACH	TOTAL SQ.FT.
⊗	3	>4.5" CALIPER	VARIES	VARIES	CANOPY TREE	PROVIDE TREE PROTECTION	225	675
⊗	7	>3" CALIPER	QUERCUS VIRGINIANA	LIVE OAK	CANOPY TREE	45 GALLON 35' MIN. SPACING	350	2,450
⊗	10	(MULTI-TRUNK)	LAGERSTROEMIA INDICA	CREPE MYRTLE	ORNAMENTAL NON-CANOPY TREE	15 GALLON (COUNTRY RED)	150	1,500

RME Consulting Engineers

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 TEXAS FIRM REGISTRATION NO. F-4695

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PRELIMINARY 95% COMPLETE ISSUED FOR REVIEW ONLY 9/10/15

LANDSCAPE PLAN & DETAILS

FOR THE
WEATHERFORD 820 INDUSTRIAL BOULEVARD BRYAN, TX
 LOT 6A, BLOCK 1 - BRAZOS COUNTY INDUSTRIAL PARK, PH 3
 BRAZOS COUNTY, TEXAS

SEP 15 2015

CLIENT INFORMATION
 WEATHERFORD
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