

ACCESSIBILITY GENERAL NOTES

- 1.0 ALL ACCESSIBLE ROUTES & ACCESSIBLE PARKING AISLES SHALL NOT EXCEED A 2% SLOPE IN EITHER A LONGITUDINAL OR CROSS SLOPE DIRECTION TYPICAL FROM PARKING SPACES AND PUBLIC SIDEWALK TO BUILDING ENTRANCES.
- 2.0 ALL HANDICAP STRIPING, SIGNAGE AND ACCESSIBLE ROUTES FROM PARKING SPACES TO STORE ENTRANCES SHALL BE PROVIDED TO MEET THE TEXAS ACCESSIBILITY STANDARDS IN ALL RESPECTS. A COPY OF THE STANDARDS IS AVAILABLE FOR REFERENCE FROM THE ARCHITECT.
- 3.0 ALL PORTIONS OF THE STRIPED ACCESSIBLE ROUTES SHALL NOT EXCEED A SLOPE OF 2% IN ANY DIRECTION, LONGITUDINAL OR CROSS SLOPE, TYPICAL.
- 4.0 THRESHOLDS AT STORE ENTRANCES SHALL NOT EXCEED A MAXIMUM HEIGHT OF 1/2" PROJECTION ABOVE THE SIDEWALK OR THE STORE FINISH FLOOR. ALL CHANGES IN ELEVATION SHALL NOT EXCEED 1/4" ABRUPT OR 1/2" AT A 45 DEGREE TAPERED ANGLE.
- 5.0 SEE DETAIL 6A10 FOR TYP. CURB RAMP PLAN.

SITE GENERAL NOTES

- 1.0 REFER TO CIVIL DRAWINGS FOR THE CONCRETE PAVING JOINT PATTERNS AND CONSTRUCTION JOINT DETAILS.
- 2.0 REFER TO THE LANDSCAPE DRAWINGS FOR THE LOCATION OF IRRIGATION CONTROLLERS AND POP UP VALVES TO BE INSTALLED THE LANDSCAPE STRIP BETWEEN THE SIDE WALK AND THE PARKING LOT.
- 3.0 CONTRACTOR SHALL FIELD VERIFY GRADE ELEVATION OF EXISTING ROADWAY PAVING RELATIVE TO SPECIFIED PARKING LOT PAVING ELEVATION TO CONFIRM THAT THE SPECIFIED PARKING LOT PAVING ELEVATION DOES NOT EXCEED ROADWAY ELEVATION BY MORE THAN 12" TYPICAL TO INSURE THAT DRIVEWAY APRONS SHALL NOT BE TOO STEEP. SEE CIVIL DRAWINGS FOR DRIVEWAY CURB CUT APRON DETAILS.
- 4.0 REFER TO CIVIL SITE UTILITY PLAN FOR SITE FIRE LINE SUPPLY TO THE SHELL BUILDING IN THIS CONTRACT AND TO FUTURE BUILDINGS TO BE CONSTRUCTED UNDER SEPARATE BUILDING PERMIT PACKAGES, INCLUDING CHECK VALVES CONNECTION VAULTS, METERS AND UTILITY LINE TAPS.

20 SITE ACCESSIBILITY NOTES
NO SCALE
REV: 11/20/16

19 SITE GENERAL NOTES
NO SCALE
REV: 11/20/16

PARKING CALCULATIONS TABLE

BUILDING USE	GROSS AREA	REQ'D PARKING RATIO	PARKING REQ'D	HC REQ'D
DRIVE-IN RESTAURANT	1059sf DINING	8 + 1 PER 50sf DINING	30 SPACES	1-STD/1-VAN
SPACES PROVIDED			50 SPACES	2-STD/1-VAN

CONCRETE PAVING NOTES

LOCATION	PAVING THICKNESS	REBAR SPACING
DUMPSTER PAD/ADJACENT	8"	#5 @ 12" O.C. EA. WAY
ALL DRIVE LANES	6"	#5 @ 24" O.C. EA. WAY
ALL PARKING SPACES	5"	#4 @ 24" O.C. EA. WAY

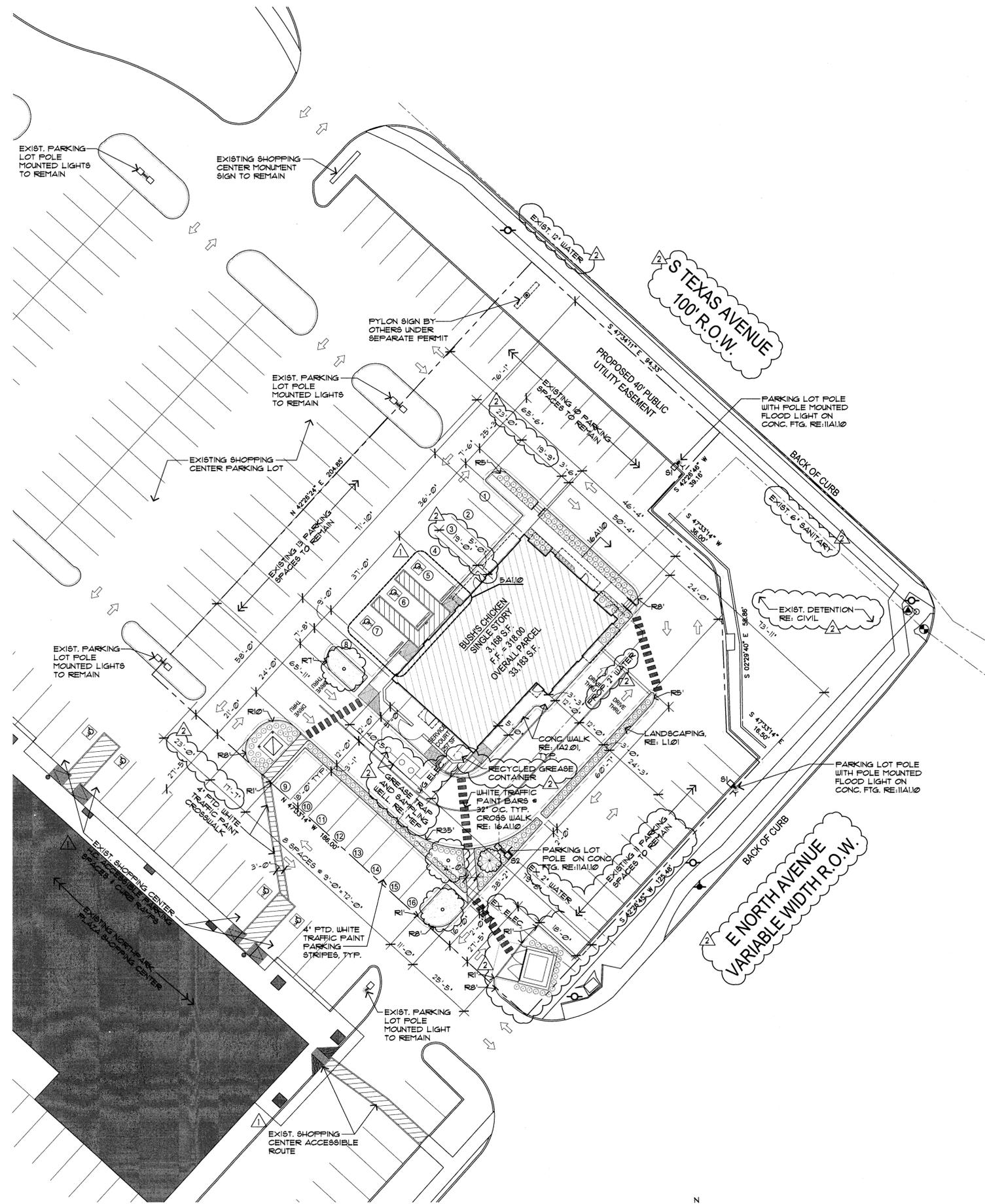
SITE PLAN NOTES

1. NAME OF PROJECT: BUSH'S CHICKEN
2. ADDRESS: 3608 S TEXAS AVENUE, BRYAN, TX 77802
3. LEGAL DESCRIPTION: BLOCK 2, LOT 1R-B, RAMSEY PLACE PH 3
4. ZONING: C-3
5. EXISTING USE: VACANT
6. PROPOSED USE: RESTAURANT
7. OVERALL SITE AREA: 33,183 SF
8. SETBACKS: PER CITY OF BRYAN ORDINANCES

NOTE: THIS SITE DOES NOT LIE WITHIN THE 100-YEAR FLOODPLAIN BOUNDARY PER FEMA'S FLOOD INSURANCE RATE MAP PANEL 48041C0218F, EFFECTIVE DATE: APRIL 2, 2014

GREASE TRAP AND SAMPLING WELL NOTES

1. SIZE OF GREASE TRAP: 1000 GALLONS
2. HEAVY TRAFFIC DUTY DUCTILE IRON MANHOLE FRAME AND SOLID COVER. PROVIDE CONCRETE OR MASONRY EXTENSIONS AS REQUIRED.
3. REINFORCE TOP, BOTTOM AND SIDES W/ #4 REBAR AT 6" O.C.E.W. WITH RETURN BENDS.
4. GREASE INTERCEPTOR SHALL MEET OR EXCEED REQUIREMENTS, CAPACITY, CONSTRUCTION, ETC. SET FORTH BY THE CITY OF BRYAN, TX. SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL WITH LETTER OF COMPLIANCE AND ACCEPTANCE BY CITY AUTHORITIES.



1 SITE PLAN
11/20/16
REV: A2.01

Revision/Issues
11/20/2015 ISSUED FOR BIDS & PERMIT
12/11/15 T.A.S. RESPONSE
01/05/16 SITE DEVELOPMENT REVIEW RESPONSE



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MTA MIKE TREADWAY ARCHITECT, INC.

BUSH'S CHICKEN
3608 S TEXAS AVE
BRYAN, TX 77802

Owner Information:
Aggield Chicken, LLC
Contact: Todd Scott
1432 Overlook Ridge Dr.
Belton, TX 76513
o. 254.541.4548

MIKE TREADWAY ARCHITECT, INC.
2400 Augusta Drive, Suite 100
Houston, Texas 77057
PH: 713-953-1085
FAX: 713-953-1068



Sheet Title
Site Plan

Development Services
JAN 14 2016

RECEIVED

Project: 15061
Date: 11/20/2015
Drawn: BL
Checked: MT
Sheet:

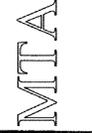
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BRYAN, TX 77802

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Sheet Title

PAVING AND DRAINAGE PLAN

Project: 15061
Date: 11/20/2015
Drawn: DAE
Checked: JHE
Sheet: **C1**

of C8

GENERAL NOTES

- Location of existing utilities is the responsibility of the contractor and shall be located prior to excavation. Contact City of Bryan Engineer prior to excavating in existing street right-of-way or easements.
- All work, materials, services and labor shall conform to the rules and regulations of City of Bryan criteria governs.
- All permits to be obtained shall be the responsibility of the contractor unless otherwise specified.
- All proposed driveways connecting into Legacy Street shall be in accordance with the rules and regulations of City of Bryan.
- Contractor to verify all horizontal and vertical locations of all existing utilities which are proposed connection points for proposed utilities prior to commencement of construction. Contractor to contact engineer in writing prior to start of construction and give the engineer 48 hours to respond to contractor if there are any difference in existing conditions which may affect the design of the engineers plan.
- The location of some utilities were not field verified and were taken from drawings provided by private utility companies. Contractor to verify all locations of all utilities and shall be fully responsible for any damage to all utility lines.
- Contractor to contact engineer 48 hours prior to beginning of construction if there are any difference in existing conditions which may affect the design of the engineers plan.
- Contractor shall make note and avoid contact or damage to any and all overhead power lines.
- Existing pavement, curbs, sidewalks, and driveways damaged or removed during construction shall be replaced at the contractors expense and to City of Bryan Standards. If any, all underground storage tanks will be removed prior to construction.
- All Pipe Quantities shown hereon (pipe lengths) are for the Engineers use Only. It is the Responsibility of the Contractor to Calculate his own quantities for this bid.

PAVEMENT NOTES

- Proposed Retaining Wall (RW) to be designed by others. (N/A)
- For paving details, dimensions, etc., see Civil Details Sheet.
- All curbs to be 6 inches in height from top of curb to gutter.
- Subgrade shall be test rolled to locate soft spot areas. Soft areas shall be removed and repaired prior to placement of concrete.
- Concrete to have minimum compressive strength of 3000 psi at 28 days.
- Parking Spaces shall be painted white 6" wide by 19'-0" in length or as called on plans.
- If wet subgrade soils are encountered at the time of construction, use 6% cement by dry weight to stabilize the soils. This results in an application rate of 36 pounds per square yard per 6-inch of compacted thick.
- Proposed Driveways will be constructed in accordance with City of Bryan.
- Demolition Plan by REKHA ENGINEERING, INC. and Site Dimension Plan by Mike Treadway Architect, Inc.
- A Topographic Survey for this site was performed by KSC SURVEY.
- Storm Sewer Pipe shall be HDPE with smooth bore and with rubber gasket fittings (onsets) or R.C.P., Type III, C-76 Rubber Gasket Bell (in R.O.W.).
- The City of Bryan Spec requires the final 1.0' of soil fill to be "select fill" under pavement.
- Fill shall be placed in 8" lifts & compacted to 95% Standard Proctor Density prior to construction of pavement. (Typ.)
- Dowel #4-24" long rebar @ 1 ft into the existing pavement, and expose the remaining 1 foot of rebar as part of the pavement pour or top of curb pour. Grout to secure rebar dowel. Sawcut pavement prior to placement.
- Proposed Filter Fabric Fence to be placed around the perimeter of the site and Sand Bags shall be placed around all inlets at the start of the construction phase and to remain in place until the end.
- On this civil engineering paving and drainage plan, the horizontal location of all proposed storm lines at the place where they connect to proposed down spouts on the outside face of the building are accurate within five (5) feet (see plumbing plans).
- All appurtenances or any other structures that are constructed within paved areas, the Rim Elevations are to be equal to the proposed pavement.
- On all Proposed Inlets, add Fiber Board where the inlet meets the proposed pavement.
- All Open Trenches shall conform to OSHA Safety Standards & per the Design of the Soils Report.
- All concrete reinforcing steel are to be held up by the highway type saddles WMC or Aztec E-2 or equal TxDOT highway grade saddles.

FEMA

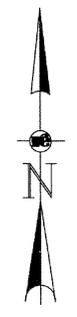
According to the Federal Emergency Management Agency's Flood Insurance Rate Map No. 48041C0215F - revised APRIL 2, 2014 the subject tract is located in Zone "X"(unshaded), area determined to be outside the 0.2% annual chance floodplain.

BENCHMARK

Benchmark - Marker is a square cut in top of inlet located at the east end of hereon property. Marker has an elevation of 314.93 feet.

TBM

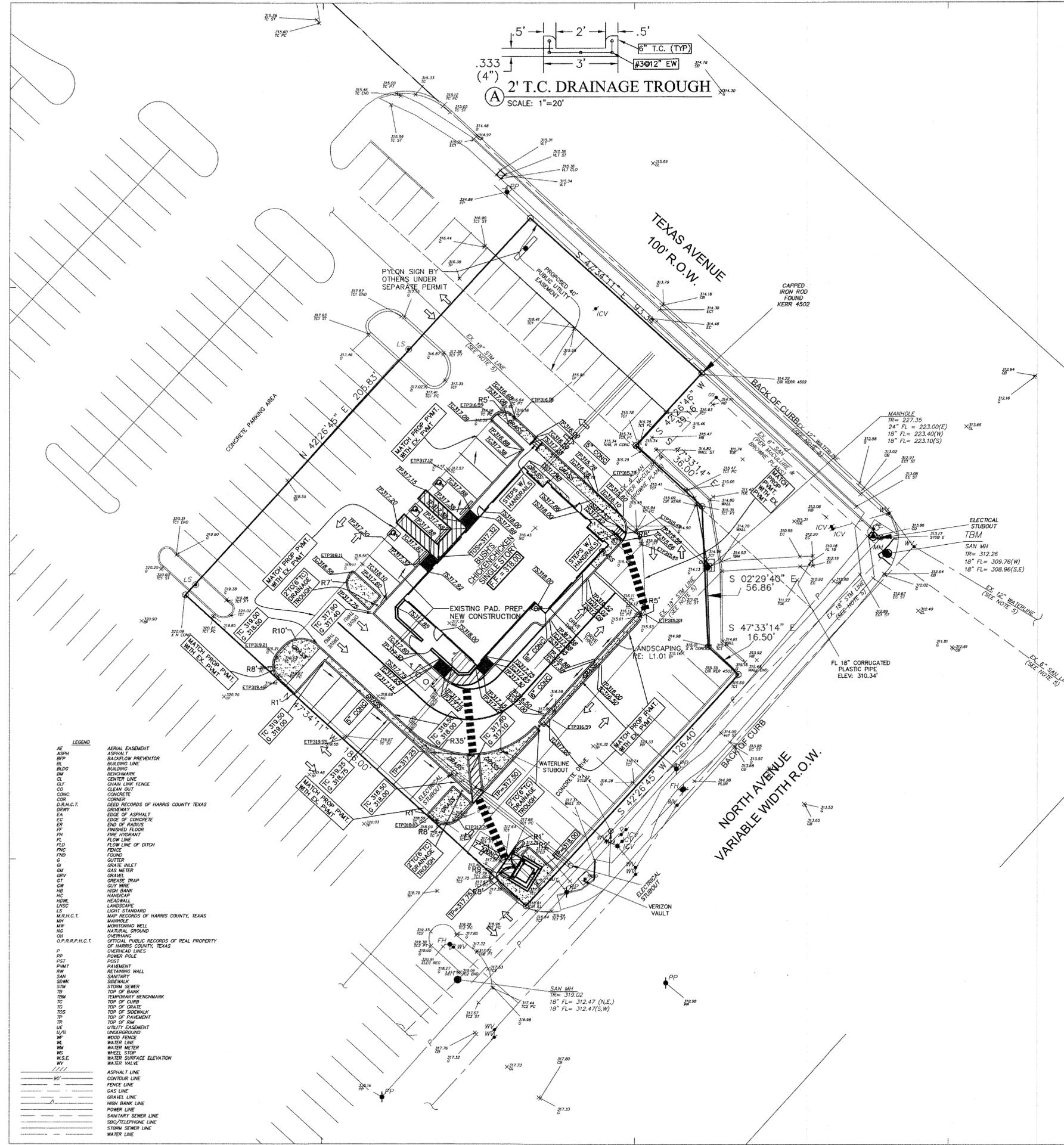
Temporary Benchmark - TBM is the top of rim of a Sanitary manhole located at the intersection of Texas Avenue and North Avenue. TBM has an elevation of 312.25 feet.



SCALE: 1"=20'

PAVING & DRAINAGE LEGEND

FF-XX.XX	PROP FINISH FLOOR
TP-XX.XX	PROP TOP OF PAVEMENT
INLET X	PROP INLET
TG XX.XX	PROP TOP OF GRATE
FL XX.XX	PROP FLOW LINE
JB XX	PROP JUNCTION BOX
FL XX.XX	PROP FLOW LINE
FG XX.XX	PROP FINISH GRADE
TOS XX.XX	PROP TOP OF SIDEWALK
TB XX.XX	PROP TOP OF BANK
TC XX.XX	PROP TOP OF CURB
G XX.XX	PROP GUTTER
TOW XX.XX	PROP TOP OF WALL
IPXX.XX	PROP TOP OF PAVEMENT (BY ARCHITECT)
ICXX.XX	PROP TOP OF CURB (BY ARCHITECT)
ISXX.XX	PROP TOP OF SIDEWALK (BY ARCHITECT)
ETPXX.XX	EXIST. TOP OF PAVEMENT (BY ARCHITECT)
Grass Areas	GRASS AREAS



LEGEND

AE	AERIAL EASEMENT
ASPH	ASPHALT
BP	BACKFLOW PREVENTOR
BL	BUILDING LINE
BM	BENCHMARK
CL	CENTER LINE
CLF	CHAIN LINK FENCE
CO	CLEAR CUT
CONC	CONCRETE
DR.H.C.T.	DEED RECORDS OF HARRIS COUNTY TEXAS
DRY	DRAINAGE
EA	EDGE OF ASPHALT
EC	EDGE OF CONCRETE
EH	END OF RADIUS
FF	FRESHED FLOOR
FI	FIRE HYDRANT
FL	FLOW LINE
FLO	FLOW LINE OF DITCH
FNC	FENCE
FND	FOUND
G	GUTTER
GA	GRASS
GM	GAS METER
GRV	GREASE TRAP
GW	GUY WIRE
HB	HIGH BANK
HDC	HANDICAP
HDM	HEADWALL
LAND	LANDSCAPE
LS	LIGHT STANDARD
M.H.C.T.	MAP RECORDS OF HARRIS COUNTY, TEXAS
MH	MANHOLE
MW	MONITORING WELL
NG	NATURAL GROUND
OV	OVERMAN
OP.R.R.P.H.C.T.	OFFICIAL PUBLIC RECORDS OF REAL PROPERTY OF HARRIS COUNTY, TEXAS
OL	OVERHEAD LINES
P	POWER POLE
POST	POST
PWT	PAVEMENT
RW	RETAINING WALL
SAN	SANITARY
SO	SOIL
STM	STORM SEWER
TB	TOP OF BANK
TBM	TEMPORARY BENCHMARK
TG	TOP OF GRATE
TR	TOP OF SIDEWALK
TDS	TOP OF PAVEMENT
TR	TOP OF PAVEMENT
TR	TOP OF RIM
UE	UTILITY EASEMENT
U/G	UNDERGROUND
W	WOOD FENCE
WL	WATER LINE
WM	WATER METER
WSE	WHEEL STOP
WSE	WATER SURFACE ELEVATION
WV	WATER VALVE
ASPH LINE	ASPHALT LINE
CONTOUR LINE	CONTOUR LINE
POWER LINE	POWER LINE
GAS LINE	GAS LINE
GRAVEL LINE	GRAVEL LINE
HIGH BANK LINE	HIGH BANK LINE
POWER LINE	POWER LINE
SANITARY SEWER LINE	SANITARY SEWER LINE
SEC/TELEPHONE LINE	SEC/TELEPHONE LINE
STORM SEWER LINE	STORM SEWER LINE
WATER LINE	WATER LINE

NOTE: ALL UTILITIES SHOWN HEREON ARE BASED ON ABOVE GROUND OBSERVATIONS ONLY. FOR UTILITY IN THE AREA CALL 1-800-DIG-TESS.

NOTE: ALL CONSTRUCTION STAKING OF SITE SHALL BE BASED ON ARCHITECT'S SITE DIMENSIONAL PLAN AND FOUNDATION PLAN. THE CIVIL DRAWINGS ARE BASED ON THE ARCHITECT'S SITE PLAN.

NOTE: CONTRACTOR SHALL BE RESPONSIBLE TO INSURE OWNER THAT ALL PROPERTY CORNERS ARE TO REMAIN DURING ALL OF DEMOLITION. CONTRACTOR TO REPLACE AT HIS OWN EXPENSE ANY PROPERTY CORNERS DESTROYED OR DISTURBED DURING DEMOLITION OR CONSTRUCTION OF THE SITE IMPROVEMENTS.

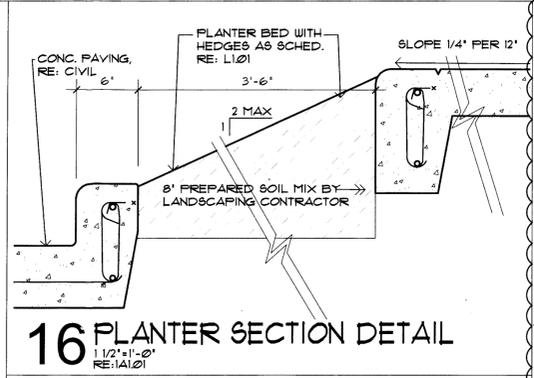
ACCESSIBILITY SLOPE REQUIREMENTS:
LANDINGS: 1:50 MAX. SLOPE ANY DIRECTION.
ACCESSIBLE PARKING AISLE AND SPACE: 1:50 MAX. SLOPE ANY DIRECTION.
ACCESSIBLE ROUTE: 1:20 MAX. RUNNING SLOPE, 1:48 MAX CROSS SLOPE.

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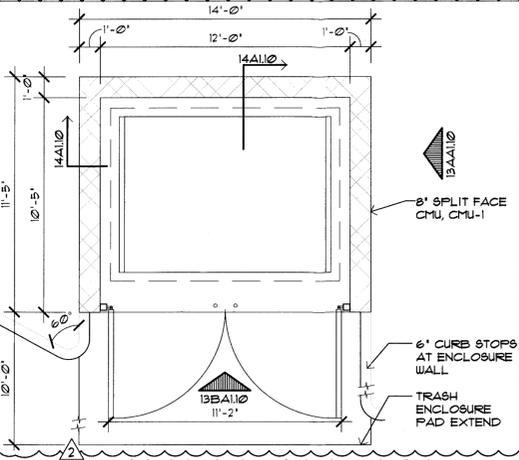
ALL CONSTRUCTION SHALL BE CONSTRUCTED ACCORDING TO ALL CRITERIA OF THE CITY OF BRYAN

ALL PROPOSED CONSTRUCTION SHALL CONFORM TO THIS REFERENCED SET OF CONSTRUCTION PLANS, DETAILS, AND ANY AND ALL PERMITS ISSUED BY ANY GOVERNMENT AGENCY FOR THIS REFERENCED PROJECT.

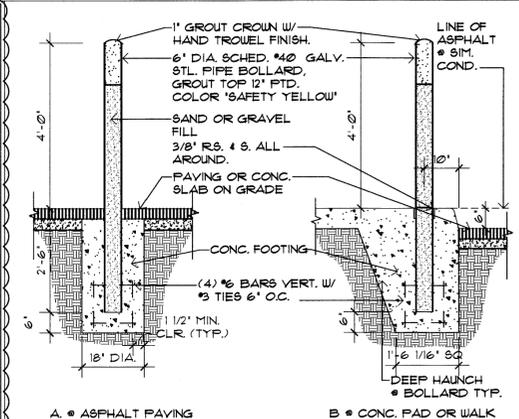
NOTE: THESE PLANS, PREPARED BY REKHA ENGINEERING INC. DO NOT EXTEND TO OR INCLUDE DESIGNS OR SYSTEMS PERTAINING TO THE SAFETY OF THE CONTRACTOR OR ITS EMPLOYEES, AGENTS, OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, THE SEAL OF THE REKHA ENGINEERING INC. REGISTERED PROFESSIONAL ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED IN THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS, INCLUDING THE PLANS AND SPECIFICATIONS REQUIRED BY THE "HOUSE BILLS 662 AND 665" ENACTED BY THE TEXAS LEGISLATURE IN THE 70th LEGISLATION - REGULAR SESSION.



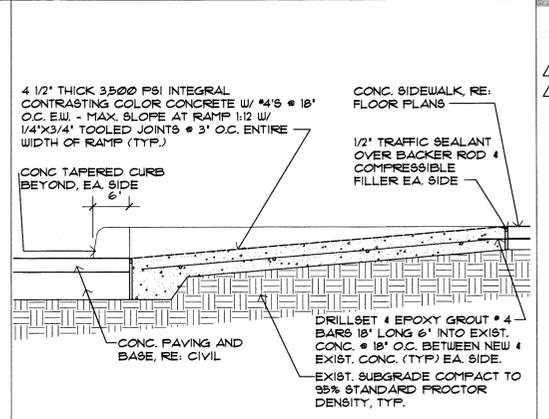
16 PLANTER SECTION DETAIL
1/2" x 11'-0" RE: 1A1.02



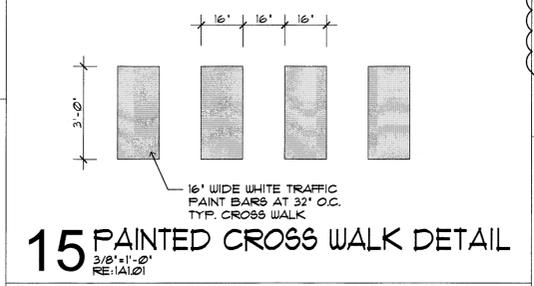
12 TRASH ENCLOSURE PLAN
1/4" x 11'-0" RE: 1A1.02



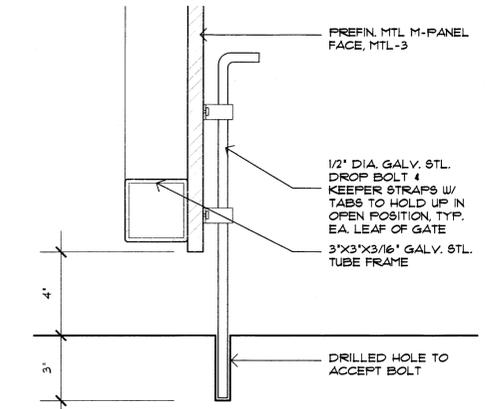
8 SECTION @ PROTECTIVE PIPE BOLLARDS
1/2" x 11'-0" RE: 1A1.02



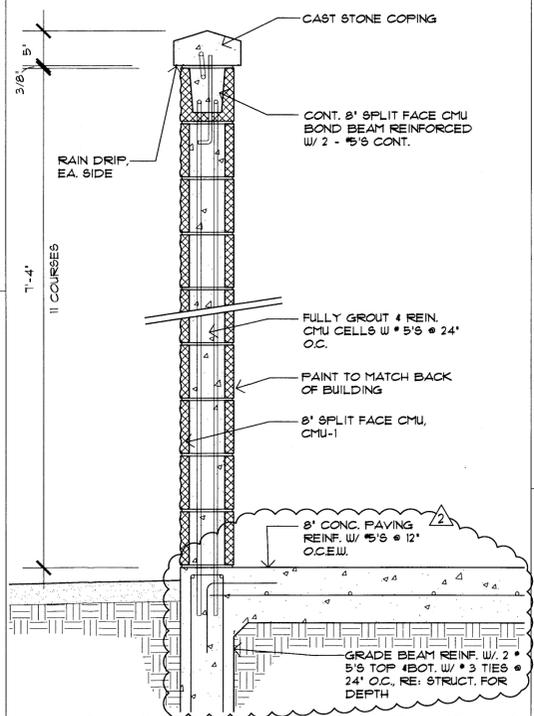
4 SECTION @ RAMP
1/2" x 11'-0" RE: 1A1.02



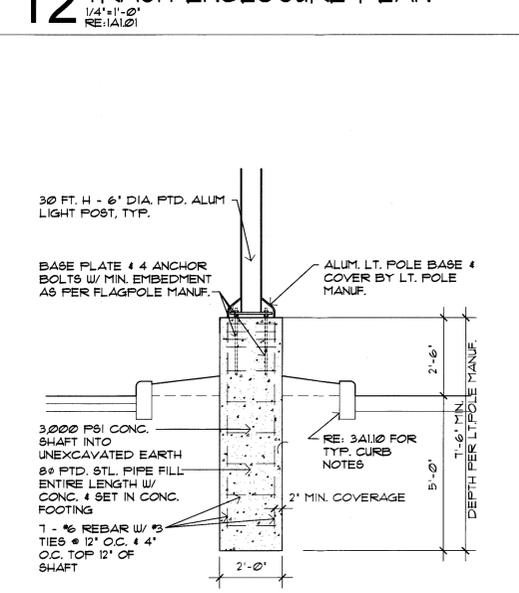
15 PAINTED CROSS WALK DETAIL
3/8" x 11'-0" RE: 1A1.02



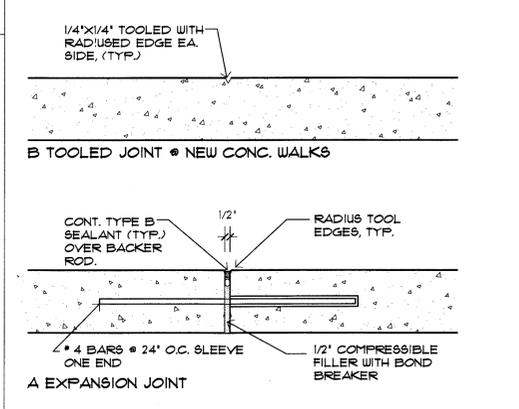
19 SECTION @ GATE DROP BOLT
3/8" x 11'-0" RE: 1A1.02



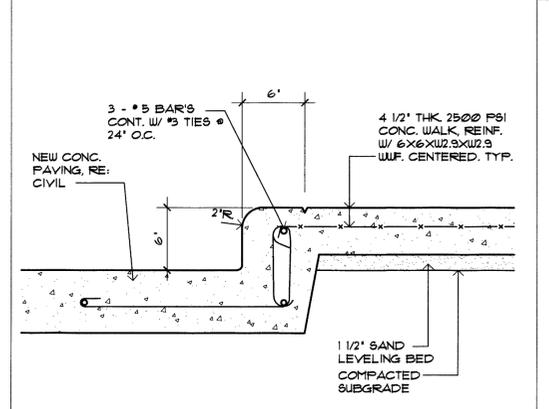
14 TRASH ENCLOSURE ELEVATIONS
1/4" x 11'-0" RE: 1A1.02



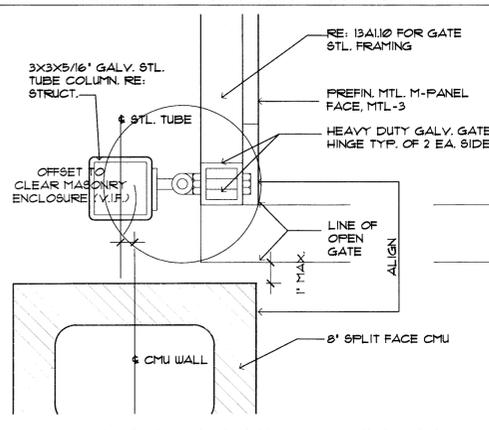
11 PARKING LOT LIGHT POLE FTG.
3/8" x 11'-0" RE: 1A1.02



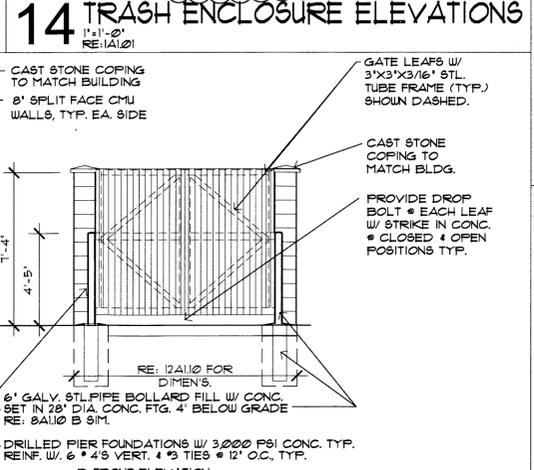
7 TYP. WALK CONTROL AND EXP. JTS.
1/2" x 11'-0" RE: 1A1.02



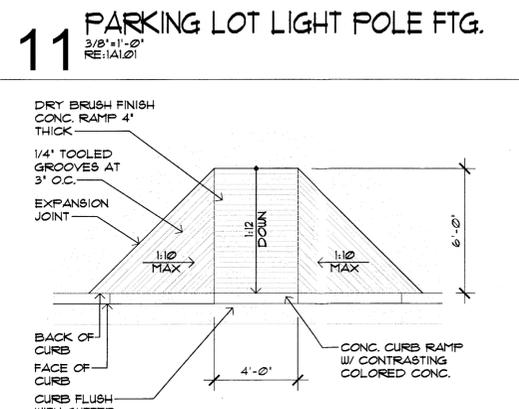
3 SECTION @ NEW CONC. WALK CURB
1/2" x 11'-0" RE: 1A1.02



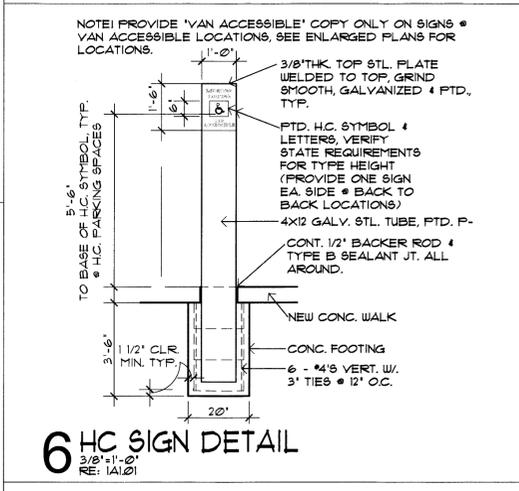
18 PLAN DETAIL @ DUMPSTER CORNER POST
3/8" x 11'-0" RE: 1A1.02



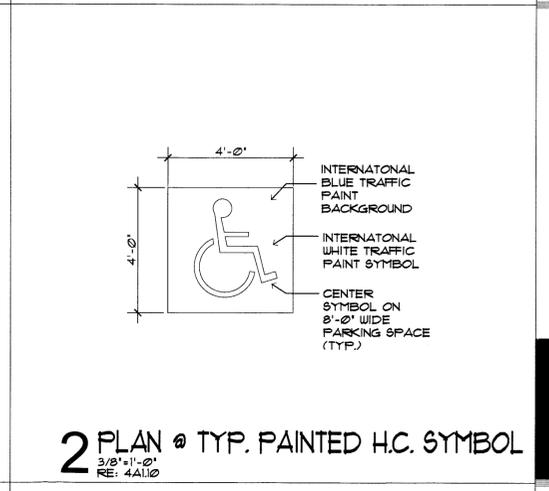
13 TRASH ENCLOSURE ELEVATIONS
1/4" x 11'-0" RE: 1A1.02



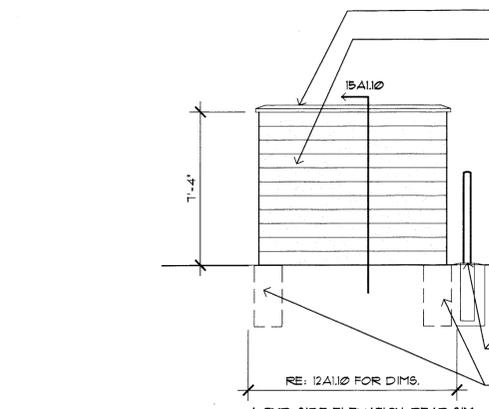
10 CURB RAMP PLAN DETAIL
1/4" x 11'-0" RE: 1A1.02



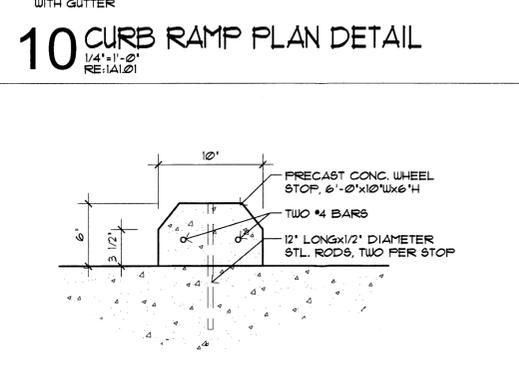
6 HC SIGN DETAIL
3/8" x 11'-0" RE: 1A1.02



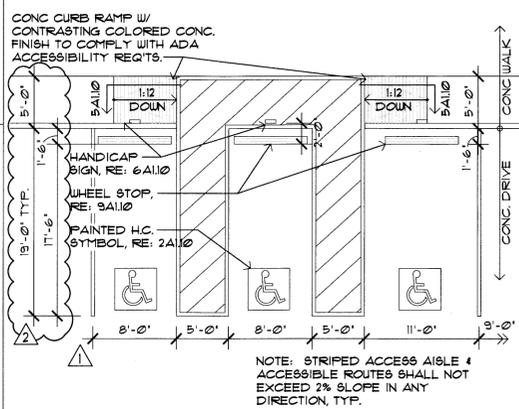
2 PLAN @ TYP. PAINTED H.C. SYMBOL
3/8" x 11'-0" RE: 4A1.02



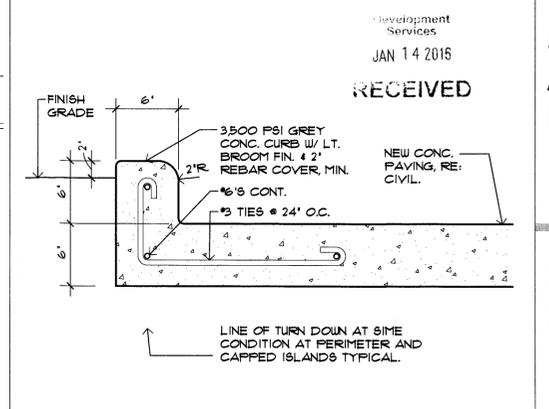
13 TRASH ENCLOSURE ELEVATIONS
1/4" x 11'-0" RE: 1A1.02



9 CONCRETE WHEEL STOP DETAIL @ HANDICAP STALL
1/2" x 11'-0" RE: 1A1.02



5 CURB RAMP PLAN
1/2" x 11'-0" RE: 1A1.02, 1A2.01, 1A2.02, 1A2.03, 1A2.04



1 CONC. CURB & GUTTER DETAIL
1/2" x 11'-0" RE: 1A1.02

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01/05/16 SITE DEVELOPMENT REVIEW RESPONSE

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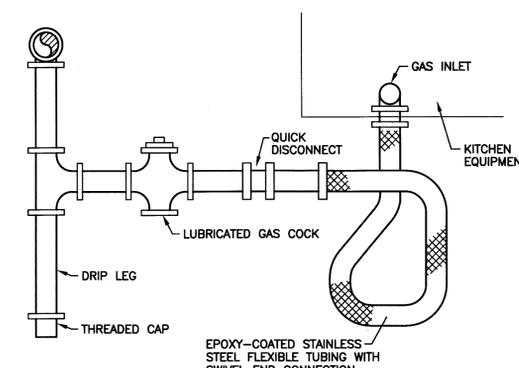
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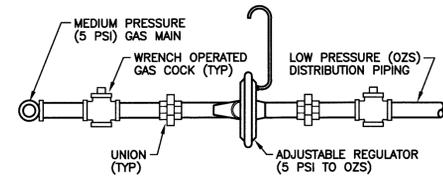
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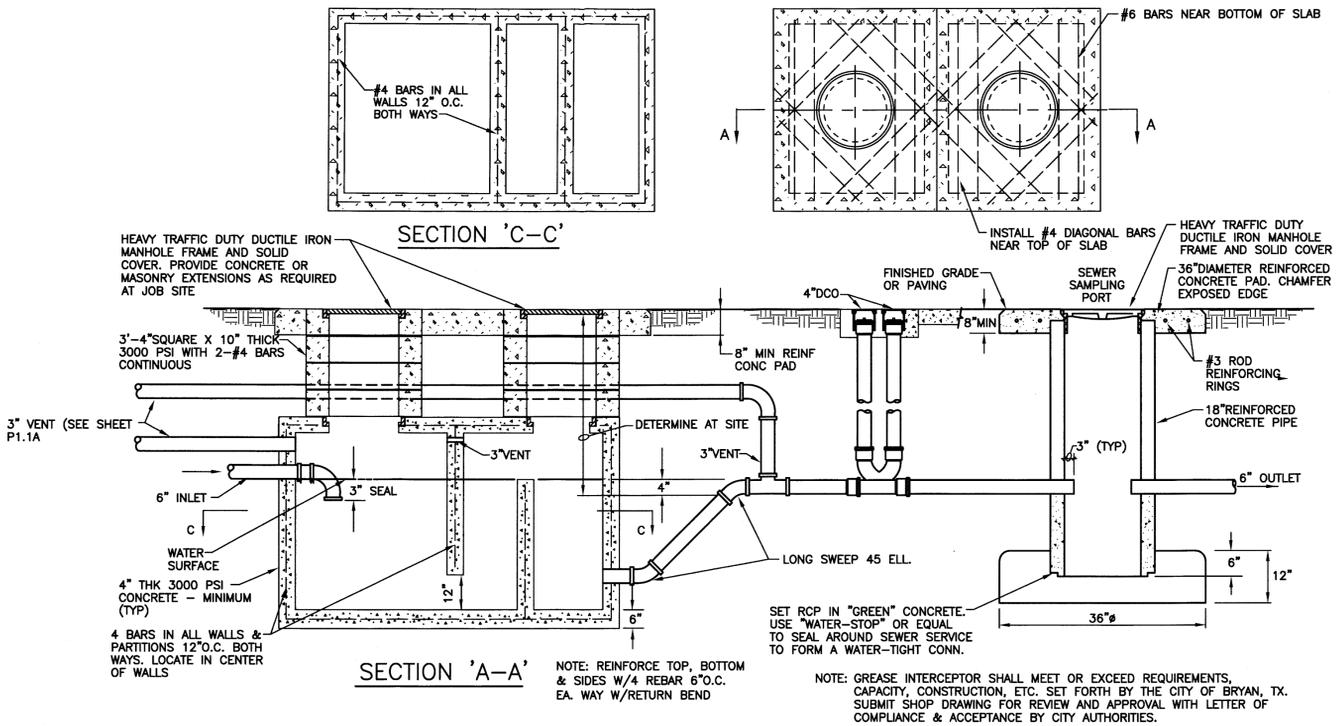
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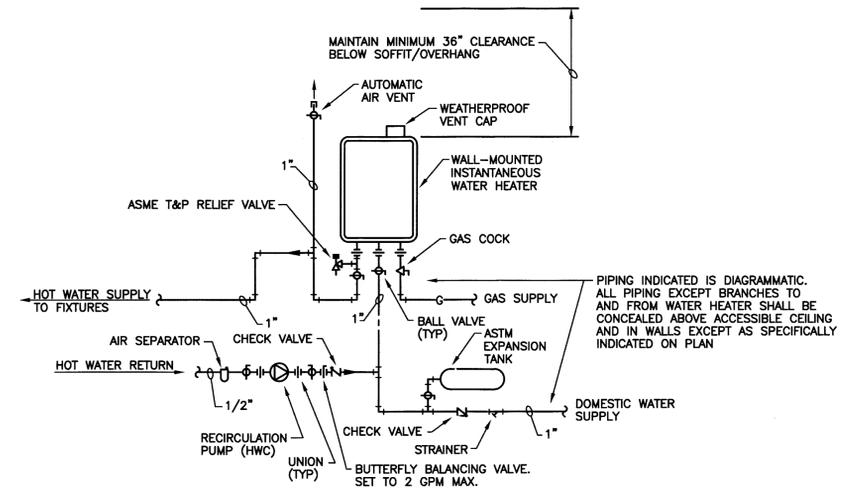
**(B) DETAIL - TYP. KITCHEN EQUIPMENT
GAS CONNECTION**
NO SCALE



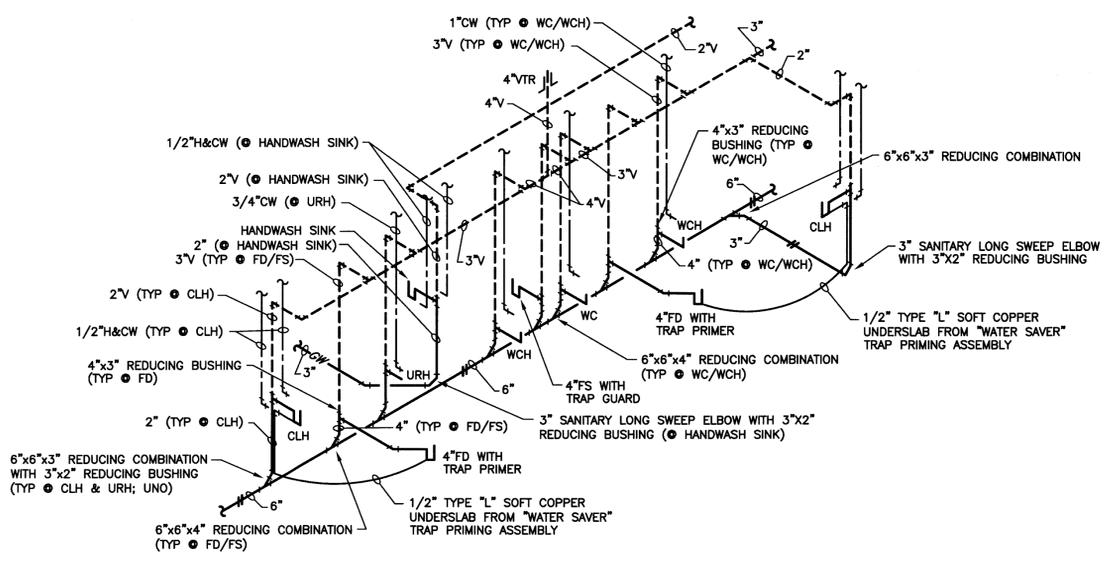
(C) DETAIL - TYP. REGULATOR STATION ON ROOF
NO SCALE



(A) 1000 GALLON TRAFFIC-RATED GREASE INTERCEPTOR W/SAMPLING PORT
NO SCALE



**(D) DETAIL - INSTANTANEOUS WATER HEATER
WITH RECIRCULATION PUMP PIPING SCHEMATIC**
NO SCALE



(P1) PLUMBING RISER
NO SCALE



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