

**SITE GENERAL NOTES**

- REFER TO CIVIL DRAWINGS FOR THE CONCRETE PAVING JOINT PATTERNS AND CONSTRUCTION JOINT DETAILS.
- REFER TO THE LANDSCAPE DRAWINGS FOR THE LOCATION OF IRRIGATION CONTROLLERS AND POP UP VALVES TO BE INSTALLED THE LANDSCAPE STRIP BETWEEN THE SIDE WALK AND THE PARKING LOT.
- CONTRACTOR SHALL FIELD VERIFY GRADE ELEVATION OF EXISTING ROADWAY PAVING RELATIVE TO SPECIFIED PARKING LOT PAVING ELEVATION TO CONFIRM THAT THE SPECIFIED PARKING LOT PAVING ELEVATION DOES NOT EXCEED ROADWAY ELEVATION BY MORE THAN 12" TYPICAL TO INSURE THAT DRIVEWAY APRONS SHALL NOT BE TOO STEEP. SEE CIVIL DRAWINGS FOR DRIVEWAY CURB CUT APRON DETAILS.
- REFER TO CIVIL SITE UTILITY PLAN FOR SITE FIRE LINE SUPPLY TO THE SHELL BUILDING IN THIS CONTRACT AND TO FUTURE BUILDINGS TO BE CONSTRUCTED UNDER SEPARATE BUILDING PERMIT PACKAGES, INCLUDING CHECK VALVES, CONNECTION VALVES, METERS AND UTILITY LINE TAPS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTAINMENT AND PROPER DISPOSAL OF ALL LIQUID AND SOLID WASTE ASSOCIATED WITH THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE OCCURRENCE OF WINDBLOWN LITTER FROM THE PROJECT SITE.
- DEMOLITION/ CONSTRUCTION WASTE- SITE IS REQUIRED TO PROVIDE CONTAINMENT FOR WASTE FROM AND DURING THE DEMOLITION/ CONSTRUCTION. SOLID WASTE ROLL OFF BOXES AND OR METAL DUMPSTERS SHALL BE SUPPLIED BY CITY OR CITY PERMITTED CONTRACTOR(S) ONLY.
- FIRE SPRINKLER SYSTEM- POTABLE WATER SUPPLY MUST BE PROTECTED BY TESTABLE DOUBLE CHECK VALVE ASSEMBLY, AND INSTALLED AS PER CITY ORDINANCE.
- POTABLE WATER PROTECTION- ALL DEVICES, AFFURTENANCES, APPLIANCES AND APPARATUS INTENDED TO SERVE SOME SPECIAL FUNCTION AND THAT CONNECTS TO THE WATER SUPPLY SYSTEM, SHALL BE PROVIDED WITH PROTECTION AGAINST BACKFLOW AND CONTAMINATION OF THE WATER SUPPLY SYSTEM.
- IRRIGATION SYSTEM-POTABLE WATER SUPPLY MUST BE PROTECTED BY EITHER AN ATMOSPHERIC OR PRESSURE VACUUM BREAKER, OR TESTABLE DOUBLE CHECK VALVE ASSEMBLY, AND INSTALLED AS PER CITY ORDINANCE.

**ACCESSIBILITY GENERAL NOTES**

- ALL ACCESSIBLE ROUTES & ACCESSIBLE PARKING AISLES SHALL NOT EXCEED A 2% SLOPE IN EITHER A LONGITUDINAL OR CROSS SLOPE DIRECTION TYPICAL FROM PARKING SPACES AND PUBLIC SIDEWALK TO BUILDING ENTRANCES.
- ALL HANDICAP STRIPING, SIGNAGE AND ACCESSIBLE ROUTES FROM PARKING SPACES TO STORE ENTRANCES SHALL BE PROVIDED TO MEET THE TEXAS ACCESSIBILITY STANDARDS IN ALL RESPECTS. A COPY OF THE STANDARDS IS AVAILABLE FOR REFERENCE FROM THE ARCHITECT.
- ALL PORTIONS OF THE STRIPED ACCESSIBLE ROUTES SHALL NOT EXCEED A SLOPE OF 2% IN ANY DIRECTION, LONGITUDINAL OR CROSS SLOPE, TYPICAL.
- THRESHOLDS AT STORE ENTRANCES SHALL NOT EXCEED A MAXIMUM HEIGHT OF 1/2" PROJECTION ABOVE THE SIDEWALK OR THE STORE FINISH FLOOR. ALL CHANGES IN ELEVATION SHALL NOT EXCEED 1/4" ABRUPT OR 1/2" AT A 45 DEGREE TAPERED ANGLE.
- SEE DETAIL 6A110 FOR TYP. CURB RAMP PLAN.

**1 SITE ACCESSIBILITY NOTES**

NO SCALE  
RE: 1A221

**20 SITE GENERAL NOTES**

NO SCALE  
RE: 1A221

**PARKING CALCULATIONS TABLE**

BUILDING USE	GROSS AREA	REQ'D PARKING RATIO	PARKING REQ'D	HC REQ'D
DRIVE-IN RESTAURANT	1059sf DINING	8 + 1 PER 50sf DINING	30 SPACES	1-STD/1-VAN
SPACES PROVIDED			42 SPACES	2-STD/1-VAN

**CONCRETE PAVING NOTES**

LOCATION	PAVING THICKNESS	REBAR SPACING
DUMPSTER PAD/ADJACENT	7"	15" x 18" O.C. EA. WAY
ALL DRIVE LANES	6"	15" x 24" O.C. EA. WAY
ALL PARKING SPACES	5"	14" x 24" O.C. EA. WAY

**SITE PLAN NOTES**

- NAME OF PROJECT: BUSH'S CHICKEN
- ADDRESS: 2701 STATE HIGHWAY 21 BRYAN, TX 77803
- LEGAL DESCRIPTION: 8FA #10, BLOCK 19 LOT 16 (TR-215)
- ZONING: C-3
- EXISTING USE: VACANT
- PROPOSED USE: RESTAURANT
- OVERALL SITE AREA: 45,283 SF
- SETBACKS: PER CITY OF BRYAN ORDINANCES

NOTE: THIS SITE DOES NOT LIE WITHIN THE 100-YEAR FLOODPLAIN BOUNDARY PER FEMA'S FLOOD INSURANCE RATE MAP PANEL 48041C0205F. EFFECTIVE DATE: APRIL 2, 2014

**GREASE TRAP AND SAMPLING WELL NOTES**

- SIZE OF GREASE TRAP: 2000 GALLONS
- HEAVY TRAFFIC DUTY DUCTILE IRON MANHOLE FRAME AND SOLID COVER. PROVIDE CONCRETE OR MASONRY EXTENSIONS AS REQUIRED.
- REINFORCE TOP, BOTTOM AND SIDES W/ #4 REBAR AT 6" O.C.E.W. WITH RETURN BENDS.
- GREASE INTERCEPTOR SHALL MEET OR EXCEED REQUIREMENTS, CAPACITY, CONSTRUCTION, ETC. SET FORTH BY THE CITY OF BRYAN, TX. SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL WITH LETTER OF COMPLIANCE AND ACCEPTANCE BY CITY AUTHORITIES.

4" HIGH RED STRIPE      4" HIGH WHITE LETTERING

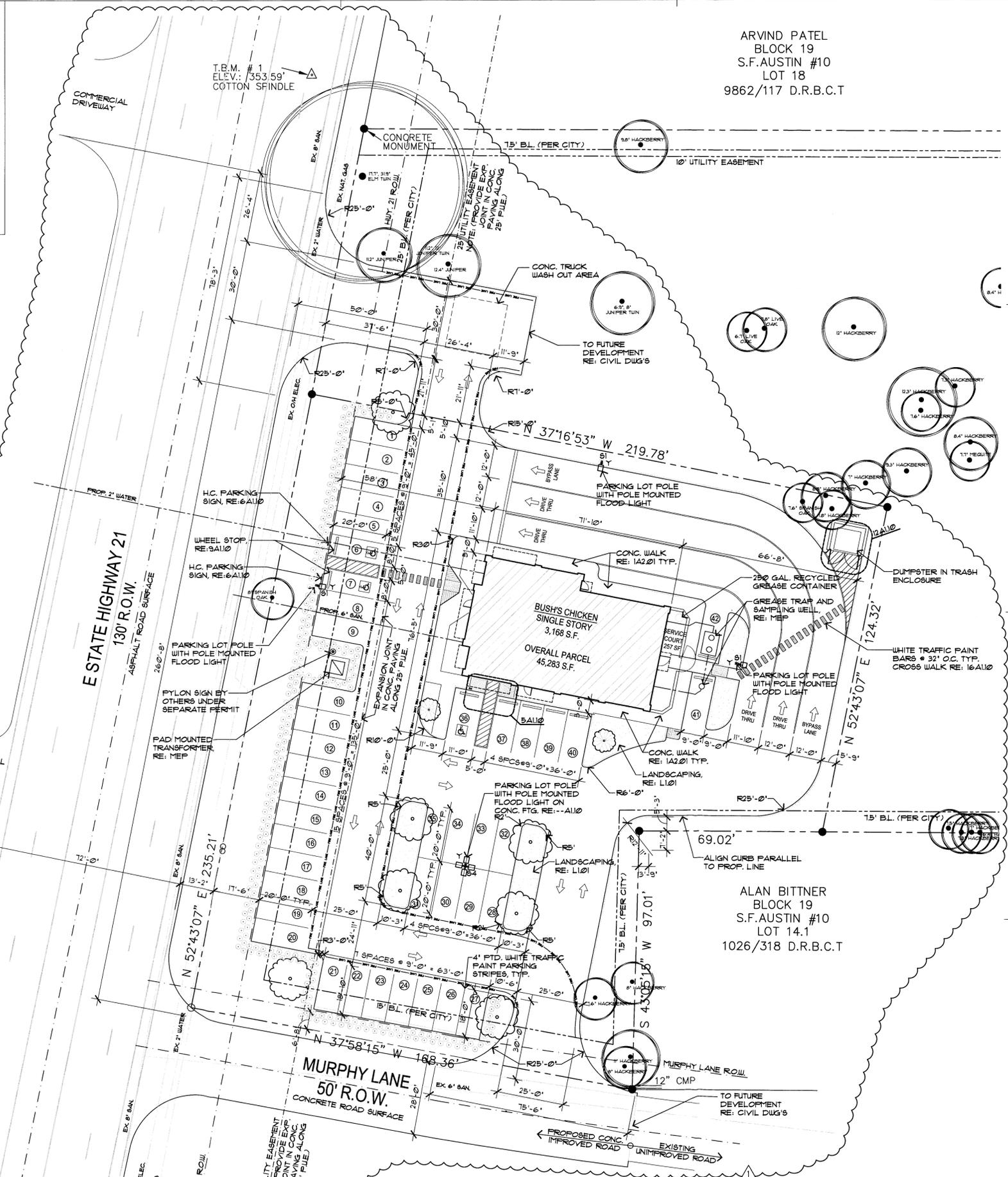
■ ■ ■ ■ ■ FIRE LANE-NO PARKING-TOW AWAY ZONE ■ ■ ■ ■ ■

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ALL CURBS AND CURB ENDS DESIGNATED AS FIRELANES ON PLANS SHALL BE PAINTED RED WITH FOUR INCH (4") WHITE LETTERING STATING "FIRE LANE-NO PARKING-TOW AWAY ZONE". WORDING MAY NOT BE SPACED MORE THAN FIFTEEN FEET (15') APART.

**2 FIRE LANE STRIPING DETAIL**

NO SCALE  
RE: 1A101



ARVIND PATEL  
BLOCK 19  
S.F.AUSTIN #10  
LOT 18  
9862/117 D.R.B.C.T

Revision/Issues  
11/06/2015 ISSUED FOR BIDS AND PERMIT  
01/12/2016 SITE DEVELOPMENT REVIEW RESPONSE



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MTA MIKE TREADWAY ARCHITECT, INC.

**BUSH'S CHICKEN**  
2701 E STATE HIGHWAY 21  
BRYAN, TX 77803

Owner Information:  
Aggeland Chicken, C  
Contact: Todd Scott  
132 Overlook Ridge Dr.  
Belton, TX 75113  
o. 25.51.58

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Sheet Title  
**Site Plan**

Project: 15065  
Date: 01/12/2016  
Drawn: BL  
Checked: MT  
Sheet:

**A1.01**  
Of

**1 SITE PLAN**

NO SCALE  
RE: A2.01