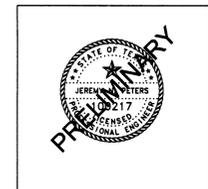




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FIRM REGISTRATION
NUMBER:
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TBPLSP-10193910

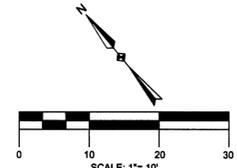


**ANSON JONES
ELEMENTARY SCHOOL
ADDITION
BRYAN, TEXAS**

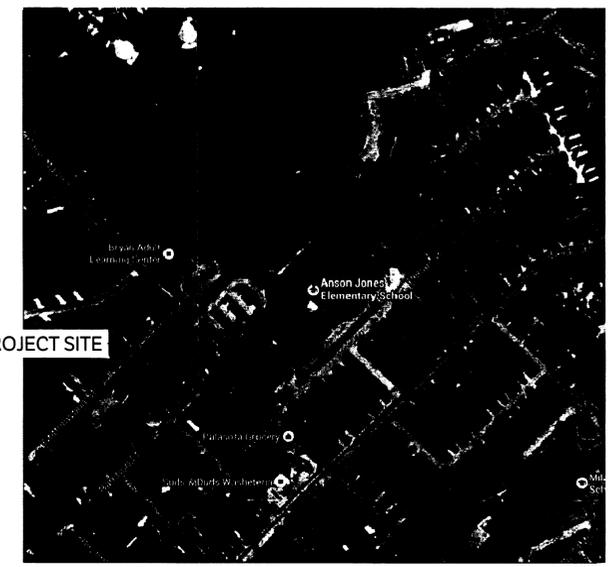
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ISSUE: 01/27/16

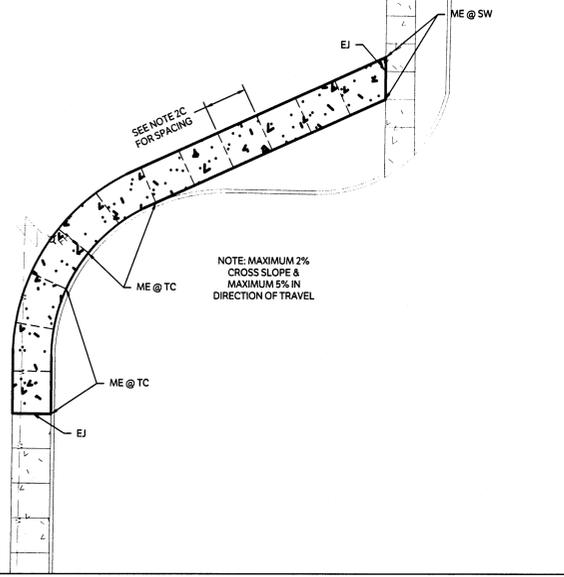
SHEET TITLE:
**SITE, PAVING
& GRADING PLAN**
JAN 27 2016



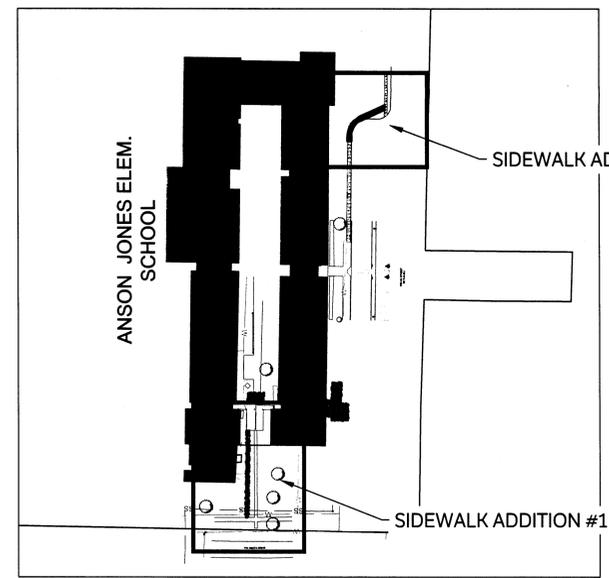
LEGEND	
	PROPOSED 4" CONC. SIDEWALK
	EXISTING BUILDING
	PROPERTY LINE
	CONTRACTION JOINT
	EXPANSION JOINT
	PROPOSED TOP OF PAVEMENT ELEVATION AT SIDEWALK
	MATCH EXISTING ELEVATION
	PROPOSED FINISHED GRADE ELEVATION
	EXISTING MAJOR CONTOURS
	EXISTING MINOR CONTOURS
	PROPOSED MAJOR CONTOURS
	PROPOSED MINOR CONTOURS



VICINITY MAP



SIDEWALK ADDITION #2



KEY MAP N.T.S

SITE PLAN NOTES:

- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THESE PLANS AND ONSITE FIELD CONDITIONS OR SPECIFICATIONS OF OTHER DISCIPLINES.
- THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS, AS WELL AS INSPECTION APPROVALS.
- A COPY OF APPROVED CONSTRUCTION PLANS SHALL BE KEPT ON SITE AT ALL TIMES THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN A SET OF REDLINE DRAWINGS TO RECORD AS-BUILT CONDITIONS.
- REFER TO ARCHITECTURAL PLANS FOR COMPLETE BUILDING DIMENSIONS.
- REF. ARCHITECTURAL PLANS FOR PROPOSED SITE SIGNAGE AS APPLICABLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINMENT AND PROPER DISPOSAL OF ALL LIQUID AND SOLID WASTE ASSOCIATED WITH THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE OCCURRENCE OF WIND BLOWN LITTER FROM THE PROJECT SITE.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN AN ORDERLY PROJECT SITE. THE CONTRACTOR SHALL CLEAN AND REMOVE ANY SURPLUS OR DISCARDED MATERIALS, TEMPORARY STRUCTURES, AND DEBRIS FROM THE PROJECT SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR STORAGE AND SAFE-GUARDING OF ALL MATERIALS AND EQUIPMENT AT THE PROJECT SITE TO MAINTAIN A SAFE AND SECURE PROJECT.
- THE CONTRACTOR SHALL COORDINATE SITE STORAGE WITH THE OWNER TO NOT OBSTRUCT DRIVES, ACCESS, OR OTHER OPERATIONAL REQUIREMENTS.
- ANY ADJACENT RIGHT-OF-WAY (R.O.W.) OR PROPERTY AFFECTED DURING CONSTRUCTION, SHALL BE RETURNED TO PRE-CONSTRUCTION CONDITION AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL PROTECT ALL SURVEY MONUMENTATION, BENCHMARKS, AND MARKERS DURING CONSTRUCTION.
- THE CONTRACTOR MUST PROVIDE CONSTRUCTION STAKING SERVICES BASED ON THE INFORMATION PROVIDED IN THE PLANS.
- IRRIGATION SYSTEM WILL BE PROTECTED BY EITHER A PRESSURE VACUUM BREAKER, A REDUCED PRESSURE PRINCIPLE BACK FLOW DEVICE, OR A DOUBLE-CHECK BACK FLOW DEVICE, AND INSTALLED AS PER CITY ORDINANCE 2394.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES OR SERVICE LINES DURING THE CONSTRUCTION PROCESS. WHERE EXISTING UTILITIES OR SERVICE LINES ARE DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE THE UTILITY OR SERVICE LINE WITH THE SAME TYPE OF MATERIAL AND CONSTRUCTION, OR BETTER. ALL MATERIAL AND LABOR SHALL BE AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL STATE AND FEDERAL REGULATIONS REGARDING CONSTRUCTION ACTIVITIES NEAR ENERGIZED OVERHEAD ELECTRIC LINES.
- THE CONTRACTOR ACKNOWLEDGES THAT THE LOCATION AND/OR ELEVATION OF THE EXISTING UTILITIES SHOWN ON THE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES, CITY MAPS AND, WHEN POSSIBLE, FIELD MEASUREMENTS. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE.
- THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANY 48 HOURS PRIOR TO EXCAVATION, AND SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS.
- ALL BACK FLOW DEVICES WILL BE INSTALLED AND TESTED UPON INSTALLATION AS PER CITY ORDINANCE 2394.
- ALL WATER LINES TO BE CL 305 DR 14 PVC, MEETING AWWA C-900 OR C-909 STANDARDS.
- ALL SANITARY SEWER LINES TO BE SDR-26 PVC.
- SANITARY SEWER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH TCEQ REQUIREMENTS FOR SEPARATION AND CROSSINGS, AND IN ACCORDANCE WITH THE 2012 INTERNATIONAL PLUMBING CODE.

PAVEMENT NOTES:

- SUBGRADE:**
 - EXISTING TREES, STUMPS, AND ROOTS SHALL BE GRUBBED AND REMOVED. VEGETATION SHALL BE REMOVED AND THE TOP 6" OF TOPSOIL AND SUBGRADE STRIPPED FROM THE AREAS TO BE COVERED BY PROPOSED IMPROVEMENTS.
 - PAVING AREAS SHALL BE PROOFROLLED WITH A 15 TON COMPACTOR AND, IF REQUIRED AT THE TIME OF CONSTRUCTION, THE CONTRACTOR SHALL STABILIZE WEAK AREAS BY OVER EXCAVATING AND BACKFILLING.
 - FILL MATERIAL SHALL BE PLACED IN 6" LOOSE LIFTS, MAXIMUM, WITH EACH LIFT AT A MOISTURE CONTENT OF +/- 2% OF OPTIMUM, AND COMPACTED TO A UNIFORM DENSITY OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR (ASTM D698).
 - COMPACTION TEST SHALL BE CONDUCTED FOR EVERY 4,000 SF OF FILL PLACED, WITH A MINIMUM OF ONE TEST PER LIFT.
- CONCRETE PAVEMENT:**
 - CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
 - ALL CONCRETE SHALL BE VIBRATED WHEN PLACED.
 - PAVEMENT CONTRACTION JOINTS SHALL BE INSTALLED PER DETAIL SHEET C200, WITH A MAXIMUM SPACING OF 8' FOR 4" SIDEWALKS. CONTRACTION JOINTS SHALL BE INSTALLED BETWEEN 2 AND 6 HOURS OF CONCRETE PLACEMENT AS CONCRETE CURING ALLOWS. AN EARLY ENTRY SAW IS PREFERRED.
 - PAVEMENT EXPANSION JOINTS SHALL BE SPACED AS SHOWN ON THE PLANS AND INSTALLED PER DETAIL SHEET C200. CONSTRUCTION SHALL BE STOPPED AT EXPANSION JOINTS. IF CONDITIONS REQUIRE, CONSTRUCTION TO BE STOPPED AT OTHER LOCATIONS, A COLD JOINT SHALL BE CONSTRUCTED.
 - ISOLATION JOINTS SHALL BE PLACED AT ALL IN-PAVEMENT OBJECTS INCLUDING INLETS, LIGHT POLE FOOTINGS AND CLEANOUTS.
 - ALL JOINTS SHALL BE SEALED PER DETAIL SHEET C200.
 - REFERENCE C200 FOR PAVEMENT AND SIDEWALK CONSTRUCTION DETAILS.
 - TRANSPORTATION AND PLACEMENT OF THE CONCRETE SHALL BE IN ACCORDANCE WITH ACI 301. A TEST SET CONSISTING OF 3 CYLINDERS SHALL BE TAKEN EVERY 75 CUBIC YARDS OF CONCRETE.
- CRUSHED LIMESTONE BASE:**
 - CRUSHED LIMESTONE BASE SHALL CONFORM TO STANDARDS SPECIFIED IN TXDOT ITEM 247, TYPE A, GRADE 1.
 - COMPACTION SHALL BE AT LEAST 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557, METHOD C AT A MOISTURE CONTENT BETWEEN -2% AND +2% OF OPTIMUM.
 - THICKNESS AND COMPACTION TEST, FOR CRUSHED LIMESTONE BASE MATERIAL, SHALL BE VERIFIED BY IN-PLACE DENSITY TEST FOR EACH LIFT (1 TEST PER 5,000 SF OF AREA) WITH A MINIMUM OF THREE (3) TEST BEING PERFORMED PER LIFT.
 - THE BASE SHALL BE BLENDED SMOOTH, TO THE SATISFACTION OF THE ENGINEER, BEFORE PRIMING.
- REINFORCING STEEL:**
 - ALL REINFORCEMENT SHALL BE ASTM A-615, GRADE 60. THE PAVEMENT REINFORCEMENT SHALL BE #4 BARS, 16" O.C.E.W., AND THE SIDEWALK SHALL BE REINFORCED WITH #4 BARS, 16" O.C.E.W. OR #3 BARS, 12" O.C.E.W.
 - LAPS AND SPLICES IN REINFORCING BARS SHALL BE A MINIMUM OF 30 BAR DIAMETERS IN LENGTH. BARS SHALL BE SECURED AT EVERY OTHER INTERSECTION.

GRADING NOTES:

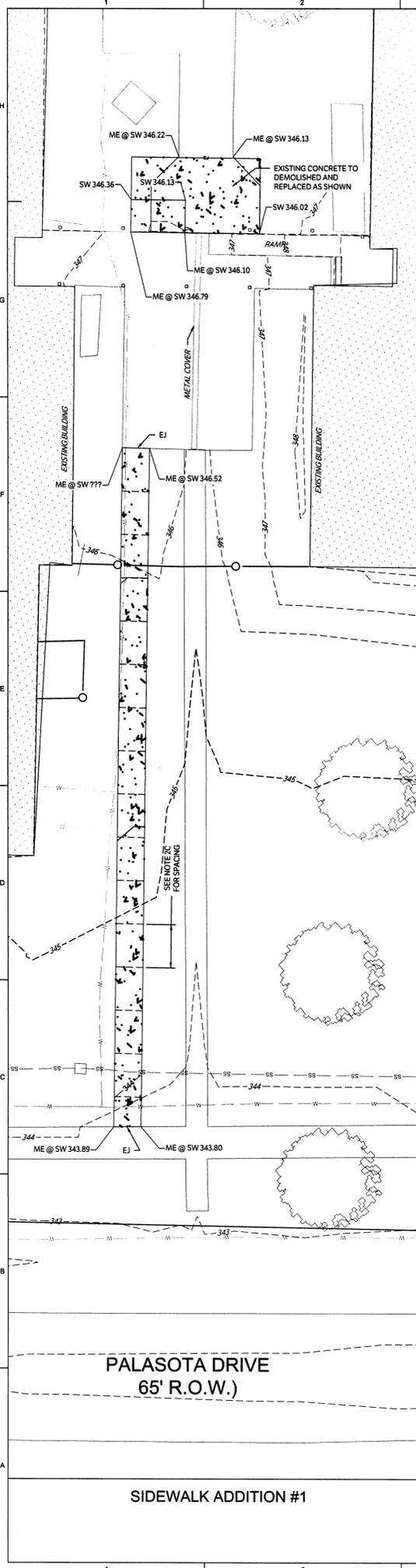
- ALL UNPAVED AREAS SHALL BE ADEQUATELY GRADED TO DRAIN AT A MINIMUM OF 2.0% SLOPE, UNLESS OTHERWISE NOTED, SO THAT NO PONDING OCCURS.
- WHEN TOP OF CURB ELEVATIONS ARE SHOWN, THE CURB IS A STANDARD 6" CURB, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL FOLLOW THE GENERAL INTENT OF THE GRADING PLANS. MINOR ADJUSTMENTS TO THE ACTUAL ELEVATIONS SHOWN ON THE GRADING PLAN MAY BE REQUIRED TO MATCH EXISTING GROUND ELEVATIONS AND STRUCTURES. CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO ANY MODIFICATIONS.
- ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO EXISTING CONDITIONS OR BETTER.
- THE APPROVAL OF THE PLANS IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM AFFECT PROPERTY OWNERS(S). ANY ADJACENT PROPERTY OR RIGHT-OF-WAY DISTURBED DURING CONSTRUCTION WILL BE RETURNED TO EXISTING CONDITIONS OR BETTER.
- UNLESS OTHERWISE DETERMINED BY APPLICABLE GEOTECHNICAL REPORT, UNDER PROPOSED STREETS, PAVEMENT, AND STRUCTURES (INCLUDING SIDEWALKS), BACKFILL SHALL HAVE A PI OF 25 OR LESS OR BE LIME TREATED, AND SHALL BE COMPACTED IN LIFTS NO GREATER THAN 8" LOOSE THICKNESS TO A DENSITY OF AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR (ASTM D698) WITH A MOISTURE CONTENT OF +/- 2% OF OPTIMUM.
- TREATMENT SHALL BE ACCOMPLISHED SUCH THAT A UNIFORM SUBGRADE MIX IS OBTAINED. PRIOR TO THE APPLICATION OF LIME TO THE SUBGRADE, THE OPTIMUM PERCENTAGE TO BE ADDED SHOULD BE DETERMINED BASED ON TEX-121-E LABORATORY TESTS CONDUCTED ON MIXTURES OF THE SUBGRADE SOILS WITH VARYING PERCENTAGES. SUBGRADE SOIL SAMPLES SHOULD BE OBTAINED FROM THE PAVEMENT AREA AT THE PROPOSED FINAL SUBGRADE ELEVATION. THE LIME SHOULD INITIALLY BE BLENDED WITH A MIXING DEVICE SUCH AS PULVERIZER AND SUFFICIENT WATER ADDED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. WITHIN THE AREA OF CONSTRUCTION. THEY MUST BE ADJUSTED TO PROPER GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PAVEMENT AND GRADING.
- SIDEWALKS SHALL HAVE A SLOPE NO GREATER THAN 4% AND A CROSS SLOPE NO GREATER THAN 2%, UNLESS OTHERWISE NOTED.
- HANDICAP ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS.
- ALL SPOTS ARE TOP OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL CONTACT GESSNER ENGINEERING IF DISCREPANCIES EXIST AT EXISTING GRADE TIE-INS.

SITE PLAN FOR:
ANSON JONES ELEMENTARY SCHOOL
1400 PECAN STREET
BRYAN, TX 77803

LEGAL DESCRIPTION:
SFA #9, BLOCK 4, LOT 5 (TR-436),
ACRES 20.185 JONES ELEMENTARY

ZONING:
RESIDENTIAL, RD-5

OWNER:
BRYAN I.S.D.
101 NORTH TEXAS AVENUE
BRYAN, TX 77803
TELEPHONE: 979-209-7062
CONTACT: JEFF WINDSOR
EMAIL: JEFF.WINDSOR@BRYANISD.ORG



PALASOTA DRIVE
65' R.O.W.)

SIDEWALK ADDITION #1