

Existing Condition



Proposed Improvements



*NOTE: The sketch image depicted in the **Proposed Improvements** photo is partially conjectural since historic photos of the building were not available. This sketch exhibits typical features and elements indicative of historic building types from period Main Street structures in Downtown Bryan.*

Existing Conditions Analysis:

- Lack of positive drainage, especially on the north and west sides
- Scupper allow water to drain down the side of the building
- Conduit attached to building
- Masonry and mortar deterioration, severe in some areas
- Corrosive spikes and pins in masonry
- Biological staining and growth
- Building in need of cleaning
- Plant growth located too close to the building
- Unsympathetic repointing and patching
- Holes in masonry
- Paint deterioration
- Door entry is not ADA compliant

Restoration Recommendations:

- Regrade site so that water drains away from the building.
- Update utilities while ensuring code compliance.
- Determine cause of mortar and masonry deterioration and repoint as necessary with mortar matching the original in composition, color and profile. Areas that have been unsympathetically patched or pointed with Portland cement should be repointed with compatible mortar.
- Remove corrosive spikes and pins from masonry and patch with masonry patching compound.
- Clean building in a manner that does not harm the masonry or mortar.
- Determine cause of biological growth, remedy accordingly.
- Patch all holes in masonry with masonry patching compound.
- Ensure that entry is ADA compliant.
- If the paint on the brick is damaging the building in any way, the paint should be removed in the gentlest means possible.
- Remove plant growth located too close to the building.
- Restore original storefront with original door and window design and reconstruct original canopy.

Building name: Amity of Bryan

Building use: Retail

General description: One story commercial building that is situated on a corner lot. The south and east facades have been painted except for the cornice. A large garage door has been installed on both the east and south facades. The north, west and east facades exhibit severe deterioration and structural failure. All windows on the north facade have been infilled with CMU and or brick. Several trees are growing at the base of the building and are encouraging severe biological growth. Metal jacking of lintels is causing cracking through masonry and mortar. On the west facade, evidence can be seen where a building was once attached. Tie rodding and large holes in the masonry can also be seen on this facade. A few original windows remain along with the hooks for the canopy.

Year built: Unknown

Width of building: 100'

Historical significance: Contributing to historic district

Style: One part commercial

Facade Restoration Estimate:

Front Facade and Side: Moderate/major repair to masonry (scaffolding not included); repair/replace steel lintels; repaint masonry; restore original storefront and entry system a \$ 33,125.00

300 West 26th Street



- Poor downspout termination
- Conduit attached to building
- Cracking through cast stone and brick
- Paint deterioration on cast stone and gutters
- Rust staining
- Biological staining
- Holes in masonry
- Building in need of cleaning
- Incompatible repointing

- Reconfigure downspout system so that water drains freely away from the building or into an underground drainage system. Unclog current drainage system and utilize all underground drains possible.
- Update utilities while ensuring code compliance.
- Repaint cast stone and brick.
- Clean building in a manner that does not harm the masonry or mortar.
- Ensure that entry is ADA compliant.
- When the time comes to replace the incompatible aluminum windows, they should be replaced with wood ones matching the originals.
- Patch holes in masonry with a masonry patching compound.
- Monitor stained glass windows for deterioration and ensure that the protective windows are not causing moisture to develop between the windows.
- Repoint areas that have been incompatibly repointed with a mortar matching the original in color, composition and profile.

Building name: St. Andrew's Episcopal Church

Building use: Religious

General description: This church is brick with painted cast stone detailing. A few of the details that look like cast stone are actually brick that has been stuccoed and painted to match the cast stone. The sanctuary has Gothic arched stained glass windows that have been covered with aluminum and glass protective windows. The building has had two additions to the east, creating a "U" shaped building. The office and classroom section of the original church has replacement aluminum windows. The back or south side of the church has a fire escape that leads from the second story classrooms to the ground level. Water draining from a downspout is eroding the soil under the fire escape and seriously compromising its integrity. The basement windows on the west side have been covered over. One downspout is draining down the side of the building. The building's additions are not very compatible as they are too modern.

Year built: 1914

Width of building: approx. 100'

Historical significance: National Register of Historic Places; Recorded Texas Historic Landmark; Significantly contributing to historic district

Style: Religious

Facade Restoration Estimate:

Front Facade and Tower: Clean and repoint masonry where needed (scaffolding not included); patch and repaint cast stone and stucco covered brick.
\$ 85,625.00



Photo courtesy of the Bryan Public Library.

217 West 26th Street



- Area around basement littered with plant debris
- Mortar and masonry deterioration
- Unsympathetic repointing, possibly with caulk
- Bitumen patching around portions of the building's base
- Minor cracking in masonry
- Spalling
- Biological staining
- Building in need of cleaning

- Clean area around basement so that water can flow through the drains freely.
- Determine cause of masonry and mortar deterioration and repair as necessary with mortar matching the original in composition, color and profile.
- Clean building in a manner that does not harm the masonry or mortar.
- Ensure that entry is ADA compliant.
- Replace windows and doors with ones that are more historically accurate.
- Reconstruct canopies over windows.

Building name: Federal Building

Building use: Governmental Office

General description: This building is composed of red brick with limestone detailing. An addition that was well executed has been added to the back or north end of the building. At one point, the area around the building was excavated, exposing the basement. A retaining wall was built approximately 12 feet from the building, allowing area for planting, benches, etc. Sympathetically designed window and door openings were added. The roof has been replaced and the height shortened. Cloth canopies originally hung over each window. The building now features unsympathetic aluminum windows and doors. Granite steps flanked by light posts lead up to double doors.

Year built: Unknown

Width of building: approx. 85 ft.

Historical significance: Significantly contributing to historic district

Style: Governmental

Facade Restoration Estimate: Clean and repoint masonry where needed (scaffolding not included); replace aluminum with new historically accurate wood windows; reconstruct canopies for windows.
\$ 104,375.00

216 West 26th Street



NOTE: The sketch image depicted in the **Proposed Improvements** photo is partially conjectural since historic photos of the building were not clear. This sketch exhibits typical features and elements indicative of historic building types from period Main Street structures in Downtown Bryan.

- Lack of positive drainage, especially on the south and west sides
- Poor downspout termination
- Large amounts of conduit attached to south facade
- Biological staining
- Metal staining
- Mortar deterioration
- Cracking along mortar joints
- Holes in masonry
- Paint over brick
- Paint deterioration
- Poor patching
- Metal jacking causing cracking through mortar joints
- Sprinkler heads too close to the west facade
- Inappropriate waterproof coating applied to base of west facade
- Building in need of cleaning

- Regrade site to ensure positive drainage away from the building.
- Reconfigure downspouts so that adequate drainage is provided and water is deposited into an underground drainage system or a proper distance away from the building.
- Reconfigure utilities while ensuring code compliance.
- Determine cause of masonry and mortar deterioration and repair as necessary with mortar matching the original in composition, color and profile.
- Clean building in a manner that does not harm the masonry or mortar.
- Remove inappropriate patching and patch holes in masonry with a masonry patching compound.
- Perform test area to determine if paint can be removed from the masonry without harming the brick or mortar. If it can be removed, do so in the most gentle means possible.
- Rehabilitate wood windows.
- Relocate or reposition sprinkler heads so that water does not spray on the building.
- Remove improper waterproof coating. If moisture problems are still evident after altering the sprinkler positions, waterproof the base of the building in a more sensitive and appropriate manner.
- Ensure that entry is ADA compliant.
- Replace aluminum windows and doors with ones that match the historic nature of the church.

Building name: St. Andrew's Episcopal Church

Building use: Church office and classrooms

General description: This two story building was actually constructed in two parts. A possible earlier building sits at the back or south side of the lot and what appears to be a later addition has been placed on the north side of the first building. Without knowing the history of the building or seeing the interior, it is difficult to assess the age of the northern most addition. When comparing historic photos, the current building has the same massing, but with modern materials. It is possible that the northern most building (the addition) received a face lift with new materials or that this is indeed a new building on the site of the historic one. Currently, the building is constructed from brick. The front facade has a recessed entry, aluminum entry door and aluminum storefront windows on the first floor. The second floor windows appear to have wood frames. The facade is very plain with no embellishments. The back or south facade is painted brick and has three windows that have been infilled. The parapet exhibits a great deal of deterioration. On the east facade it is very easy to see where the two buildings join. The earlier building has cast stone window sills and two windows that are infilled. The brick of the earlier building has been painted on this facade as well. The stucco parapet cap on the earlier building shows signs of deterioration. The metal staircase on the later building is causing staining on the brick. The west facade of the later building faces the courtyard of the church. This facade encompasses about 14 feet of the earlier building, but it has been veneered with the same brick as the front building.

Year built: Unknown

Width of building: approx. 40 ft.

Historical significance: Possibly contributing to historic district

Style: Two part commercial

Facade Restoration Estimate:

Front Facade: Replace second floor windows with wood windows; reconstruct lower display and entry systems per detail; repaint masonry.
\$41,125.00

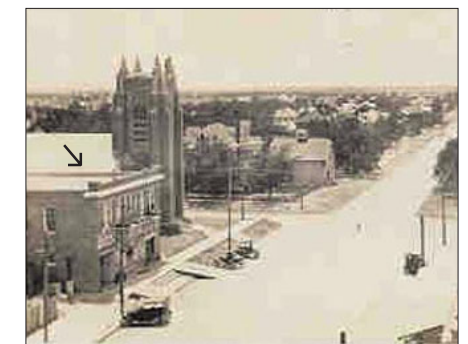


Photo courtesy of the Bryan Public Library.

213 West 26th Street



NOTE: The sketch image depicted in the **Proposed Improvements** photo is partially conjectural since historic photos of the building were not available. This sketch exhibits typical features and elements indicative of historic building types from period Main Street structures in Downtown Bryan.

- One downspout leader is severely damaged
- Surface mounted utilities
- Mortar deterioration
- Cracking through brick and mortar joints
- Spalling
- Efflorescence
- Biological staining
- Metal staining
- Building in need of cleaning
- Tie rodding on west and north walls
- West wall deflecting
- Incompatible repointing
- Entry is not ADA compliant

- Restore downspouts so that they drain freely away from the building or into an underground drainage system.
- Update utilities while ensuring code compliance.
- West wall should be inspected by a structural engineer.
- Determine cause of mortar deterioration and repoint as necessary with mortar matching the original in composition, color and profile. Areas that have been unsympathetically patched or pointed with Portland cement should be repointed with compatible mortar.
- Clean building in a manner that does not harm the masonry or mortar.
- Determine cause of efflorescence and remedy accordingly.
- Ensure that entry is ADA compliant.
- Restore openings on north facade.
- Restore original storefront and canopy.

Building name: Brazos Trader

Building use: Retail

General description: One story commercial brick building. Storefront has been largely modified. The modern slipcover is in fair condition but detracts from the building. Although the windows have been boarded over, the back or north facade is in near original condition. The west facade has paired window openings.

Year built: Unknown

Width of building: 30'

Historical significance: Contributing to historic district

Style: One part commercial

Facade Restoration Estimate:

Front Facade: Remove existing mansard awning; demo existing storefront and entries; construct new storefront, transoms, and entry system per detail; construct new wood awning.
\$33,125.00

210 West 26th Street



- Possible pooling at north facade
- Poor downspout termination
- Surface mounted utilities
- Vertical and horizontal deflections on south wall
- Mortar deterioration
- Biological staining
- Metal staining
- Building in need of cleaning
- Incompatible modification
- Metal jacking of lintels
- Paint deterioration
- Entry is not ADA compliant

- Reconfigure and restore downspouts so that they drain freely away from the building or into an underground drainage system.
- Update utilities while ensuring code compliance.
- South wall should be inspected by a structural engineer.
- Determine cause of mortar deterioration and repoint as necessary with mortar matching the original in composition, color and profile. Areas that have been unsympathetically patched or pointed with Portland cement should be repointed with compatible mortar.
- Clean building in a manner that does not harm the masonry or mortar.
- Ensure that entry is ADA compliant.
- Remove metal lintels and replace with a noncorrosive metal.
- Determine if paint is harming the brick and if so, remove it with the most gentle means possible.
- Restore openings on north facade.
- Restore original storefront and canopy.

Building name: Bryan Printing Co.

Building use: Commercial

General description: One story commercial brick building. Storefront is largely intact but deteriorated. The transom windows are intact but in fair to poor condition and one plate-glass window is broken. The front facade was painted at one point, but the paint has deteriorated. The original canopy has been replaced. The back facade has three large original door openings that have been infilled with brick while two new openings have been created on this facade.

Year built: Unknown

Width of building: 30'

Historical significance: Significantly contributing to historic district

Style: One part commercial

Facade Restoration Estimate:

Front Facade: Strip paint, tuck-point, and repair masonry facade; restore original storefront, transoms, and canopy.
\$ 17,250.00

206, 208 West 26th Street



*NOTE: The sketch image depicted in the **Proposed Improvements** photo is partially conjectural since historic photos of the building were not available. This sketch exhibits typical features and elements indicative of historic building types from period Main Street structures in Downtown Bryan.*

- Downspouts exhibits rust, clogs, and poor termination
- Downspouts are disjointed/disconnected
- Surface mounted utilities
- North wall is deflecting
- Tie rods noted on north wall
- Mortar deterioration, especially at the parapet where bricks are beginning to dislodge
- Biological staining
- Metal staining
- Efflorescence
- Building in need of cleaning
- Cracking along mortar joints
- Paint deterioration
- Entry is not ADA compliant

- Reconfigure and restore downspouts so that they drain freely away from the building or into an underground drainage system.
- Update utilities while ensuring code compliance.
- North wall should be inspected by a structural engineer.
- Determine cause of mortar deterioration and repoint as necessary with mortar matching the original in composition, color and profile. Areas that have been unsympathetically patched or pointed with Portland cement should be repointed with compatible mortar.
- Determine cause of efflorescence and remedy accordingly.
- Clean building in a manner that does not harm the masonry or mortar.
- Ensure that entry is ADA compliant.
- Replace existing windows and doors with ones that are more historically accurate.
- Remove unoriginal canopy. Restore storefront and reconstruct canopy to reflect original design.

Building name: Bry-Mac Collections

Building use: Retail

General description: One story commercial brick building with stepped parapet on front facade. Storefront has been modified and modernized. Even though the storefront is in good condition, it detracts greatly from the building. Cast iron supports are visible at both sides of the storefront. One third of the back facade has been totally removed and infilled with a sloping tin shed.

Year built: Unknown

Width of building: 30'

Historical significance: Contributing to historic district

Style: One part commercial

Facade Restoration Estimate:

Front Facade: Demo existing mansard awning; repoint and clean masonry facade; restore original transoms, display, and entries; construct new wood awning.
\$ 20,250.00

202 West 26th Street



- Poor downspout termination
- Negative drainage
- Conduit attached to building
- Mortar deterioration
- Cracking through stucco
- Rust staining caused by exterior staircase
- Biological staining
- Building in need of cleaning
- Wood rot on windows
- Paint deterioration
- Cracking through brick and mortar joints
- Horizontal deflection
- Holes in masonry
- Incompatible patching and repointing
- Severe moisture problems (possibly faulty flashing or mortar deterioration) affecting parapet wall

- Reconfigure downspout system so that water drains freely away from the building or into an underground drainage system
- Regrade site so that water flows away from the building
- Update utilities while ensuring code compliance.
- Repair and repaint the stucco to match the original.
- Repoint areas where mortar has deteriorated or where brick has been unsympathetically repointed, with a mortar matching the original in composition, color and profile.
- Restore or replace wood windows, matching the 1950s appearance.
- Restore historic sign on west facade.
- Clean building in a manner that does not harm the masonry or mortar.
- Fill holes in masonry with patching compound.
- Ensure that entry is ADA compliant.
- Restore the storefront to match the building's 1950s appearance.
- Determine cause of moisture deterioration at parapet wall.

Building name: Mr. G's Pizzeria and Restaurant; 3rd Floor Cantina

Building use: Restaurant

General description: Three story brick building. The east and south facades have been completely stuccoed. The west facade has a stucco parge coat on the top and bottom fourth of the facade. The front or north brick facade has been completely altered and now has the appearance of a modern 1950s facade. On this facade the third floor has a very modern horizontal strip of metal windows that are accented with a lighter shade of brick. The building originally had a turret with a conical roof on the northeast corner. Evidence of the original building materials and decorative elements that have been covered by stucco can be seen on the other three facades. The building still retains many of its original window openings and windows. Roof coating has been used to repair a crack in the west facade. Remnants of an old Coca-Cola sign and an old store sign once painted on the west facade can still be seen. A metal staircase provides access to the third floor from the sidewalk level on the east facade. This building has been so drastically altered, that restoration is most likely infeasible. A more realistic approach is to restore this building to its 1950s appearance.

Year built: Unknown

Width of building: 50'

Historical significance: Not contributing to historic district

Style: Two part commercial

Facade Restoration Estimate:

Front and Side Facade: Clean and repoint masonry; caulk north third floor aluminum windows; restore second and third floor wood windows on side; repair stucco where needed and blend color with surrounding material; repaint fire escape. \$19,600.00

Rear: Repair and touch-up stucco where needed; restore second and third floor wood windows; retrofit rear entry. \$ 6, 800.00



Photo courtesy of the Bryan Public Library.

201 West 26th Street



- Possible lack of positive drainage on east facade
- Downspout exhibits rust and poor termination
- Surface mounted conduit
- Sheet metal cornice exhibits solder joint failure, rust, paint failure and possible deterioration of underlying mortar
- Biological staining
- Building in need of cleaning
- Cracking along mortar joints
- Chipping of stucco at base of building
- Rust stains on brick from staircase
- Holes in masonry
- Paint deterioration on windows and cornice
- Door handle is not ADA compliant

- Regrade site so that water flows away from the building.
- Reconfigure downspouts so that they drain freely away from the building or into an underground drainage system.
- Update utilities while ensuring code compliance.
- Restore metal cornice. This includes resoldering failing joints, removing rust and failing paint and repointing any deteriorated underlying mortar.
- Determine cause of mortar deterioration and repoint as necessary with mortar matching the original in composition, color and profile. Areas that have been unsympathetically patched or pointed with Portland cement should be repointed with compatible mortar.
- Clean building in a manner that does not harm the masonry or mortar.
- Patch holes in masonry with a masonry patching compound.
- Ensure that entry is ADA compliant.
- Restore original windows.
- Restore original storefront and canopy.

Building name: James Building

Building use: Retail/Offices

General description: Two story commercial brick building located on a corner lot. The second floor of the building is used for office space. The back facade is composed of red brick and little ornamentation. The second floor windows on the north facade are in poor condition. The central loading door on north facade infilled with wood. Original canopy support hooks and chains are intact along the street facades.

Year built: Unknown

Width of building: 30'

Historical significance: Significantly contributing to historic district

Style: Two part commercial; Classical Revival

Facade Restoration Estimate:

Front Facade and Side: Clean and repoint masonry (scaffolding not included); restore second floor wood windows; expose and restore north loading doors; restore original storefront and canopy.
\$ 38,437.00



Photo courtesy of the Bryan Public Library.

200 West 26th Street