

**01 FIRST FLOOR PLAN**  
SCALE : 3/32" = 1'-0"

**IBC NOTES FOR GENERAL CONTRACTOR'S COMPLIANCE:**

SECTION 1007.6 AREAS OF REFUGE.

1007.6.3 TWO-WAY COMMUNICATION. AREAS OF REFUGE SHALL BE PROVIDED WITH A TWO-WAY COMMUNICATION SYSTEM BETWEEN THE AREA OF REFUGE AND A CENTRAL CONTROL POINT. IF THE CENTRAL CONTROL POINT IS NOT CONSTANTLY ATTENDED, THE AREA OF REFUGE SHALL ALSO HAVE CONTROLLED ACCESS TO A PUBLIC TELEPHONE SYSTEM. LOCATION OF THE CENTRAL CONTROL POINT SHALL BE APPROVED BY THE FIRE DEPARTMENT. THE TWO-WAY COMMUNICATION SYSTEM SHALL INCLUDE BOTH AUDIBLE AND VISIBLE SIGNALS. - GENERAL CONTRACTOR TO PROVIDE COMMERCIAL GRADE WALL MOUNTED TELEPHONE (2554 WALL TELEPHONE) IN 2ND FLOOR STAIR LANDINGS ADJACENT TO THE POSTED/IDENTIFIED AREA OF REFUGE, IN COMPLIANCE WITH THE ABOVE REQUIREMENT.

1007.6.4 INSTRUCTIONS. IN AREAS OF REFUGE THAT HAVE A TWO-WAY EMERGENCY COMMUNICATIONS SYSTEM, INSTRUCTIONS ON THE USE OF THE AREA UNDER EMERGENCY CONDITIONS SHALL BE POSTED ADJOINING THE COMMUNICATIONS SYSTEM. THE INSTRUCTIONS SHALL INCLUDE ALL OF THE FOLLOWING:  
1. DIRECTIONS TO FIND OTHER MEANS OF EGRESS.  
2. PERSONS ABLE TO USE THE EXIT STAIRWAY DO SO AS SOON AS POSSIBLE, UNLESS THEY ARE ASSISTING OTHERS.  
3. INFORMATION ON PLANNED AVAILABILITY OF ASSISTANCE IN THE USE OF STAIRS OR SUPERVISED OPERATION OF ELEVATORS AND HOW TO SUMMON SUCH ASSISTANCE. 4. DIRECTIONS FOR USE OF THE EMERGENCY COMMUNICATIONS SYSTEM.

11007.6.5 IDENTIFICATION. EACH DOOR PROVIDING ACCESS TO AN AREA OF REFUGE FROM AN ADJACENT FLOOR AREA SHALL BE IDENTIFIED BY A SIGN COMPLYING WITH ICC A117.1, STATING: AREA OF REFUGE, AND INCLUDING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. WHERE EXIT SIGN ILLUMINATION IS REQUIRED BY SECTION 1011.2, THE AREA OF REFUGE SIGN SHALL BE ILLUMINATED. ADDITIONALLY, TACTILE SIGNAGE COMPLYING WITH ICC A117.1 SHALL BE LOCATED AT EACH DOOR TO AN AREA OF REFUGE.

1007.7 SIGNAGE. AT EXITS AND ELEVATORS SERVING A REQUIRED ACCESSIBLE SPACE BUT NOT PROVIDING AN APPROVED ACCESSIBLE MEANS OF EGRESS, SIGNAGE SHALL BE INSTALLED INDICATING THE LOCATION OF ACCESSIBLE MEANS OF EGRESS.

**LEGEND:**

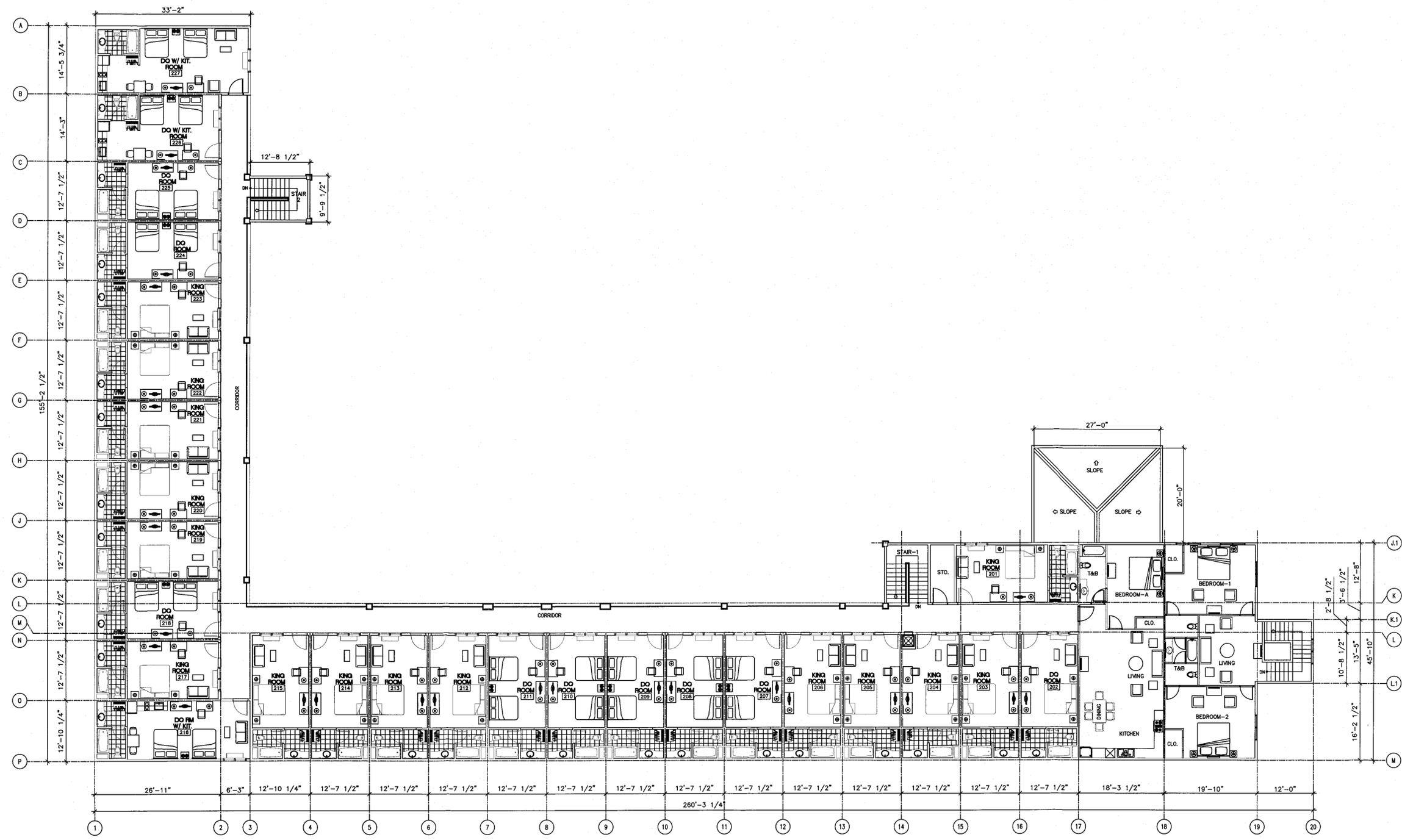
- FE - FIRE EXTINGUISHER
- FEC - FIRE EXTINGUISHER CABINET
- MANUAL ALARM - FIRE ALARM CONTROL PANEL
- △ - WINDOW TYPE (A600)
- A — PARTITION TYPE (A206)

| ROOM TYPE              | ROOM COUNT |           |           |
|------------------------|------------|-----------|-----------|
|                        | FIRST      | SECOND    | TOTAL     |
| K ROOM                 | 9          | 15        | 24        |
| DQ ROOM                | 9          | 9         | 18        |
| DQ ROOM W/ KITCHENETTE | 2          | 3         | 5         |
| HC DQ ROOM             | 1          | -         | 1         |
| HC DQ (W/ ROLL-IN)     | 1          | -         | 1         |
| <b>TOTAL</b>           | <b>22</b>  | <b>27</b> | <b>49</b> |

| ADA |  |  | ROLL-IN SHO. |  |  | HEARING IMPAIRED |  |  |
|-----|--|--|--------------|--|--|------------------|--|--|
|     |  |  |              |  |  |                  |  |  |

| FLOOR        | BUILDING AREA        |                     |                      |
|--------------|----------------------|---------------------|----------------------|
|              | INDOOR FLOOR AREA    | OUTDOOR FLOOR AREA  | TOTAL                |
|              | BLDG. S.F.           | CORRIDOR AND STAIRS |                      |
| 1ST          | 11,447 SQ.FT.        | 2,166 SQ.FT.        | 13,613 SQ.FT.        |
| 2ND          | 11,447 SQ.FT.        | 2,130 SQ.FT.        | 13,577 SQ.FT.        |
| <b>TOTAL</b> | <b>22,894 SQ.FT.</b> | <b>4,296 SQ.FT.</b> | <b>27,180 SQ.FT.</b> |



**01 SECOND FLOOR PLAN**  
SCALE : 1/8" = 1'-0"

**IBC NOTES FOR GENERAL CONTRACTOR'S COMPLIANCE:**

SECTION 1007.6 AREAS OF REFUGE.  
  
1007.6.3 TWO-WAY COMMUNICATION. AREAS OF REFUGE SHALL BE PROVIDED WITH A TWO-WAY COMMUNICATION SYSTEM BETWEEN THE AREA OF REFUGE AND A CENTRAL CONTROL POINT. IF THE CENTRAL CONTROL POINT IS NOT CONSTANTLY ATTENDED, THE AREA OF REFUGE SHALL ALSO HAVE CONTROLLED ACCESS TO A PUBLIC TELEPHONE SYSTEM. LOCATION OF THE CENTRAL CONTROL POINT SHALL BE APPROVED BY THE FIRE DEPARTMENT. THE TWO-WAY COMMUNICATION SYSTEM SHALL INCLUDE BOTH AUDIBLE AND VISIBLE SIGNALS. - GENERAL CONTRACTOR TO PROVIDE COMMERCIAL GRADE WALL MOUNTED TELEPHONE (2554 WALL TELEPHONE) IN 2ND FLOOR STAIR LANDINGS ADJACENT TO THE POSTED/IDENTIFIED AREA OF REFUGE, IN COMPLIANCE WITH THE ABOVE REQUIREMENT.

1007.6.4 INSTRUCTIONS. IN AREAS OF REFUGE THAT HAVE A TWO-WAY EMERGENCY COMMUNICATIONS SYSTEM, INSTRUCTIONS ON THE USE OF THE AREA UNDER EMERGENCY CONDITIONS SHALL BE POSTED ADJOINING THE COMMUNICATIONS SYSTEM. THE INSTRUCTIONS SHALL INCLUDE ALL OF THE FOLLOWING:  
  
1. DIRECTIONS TO FIND OTHER MEANS OF EGRESS.  
2. PERSONS ABLE TO USE THE EXIT STAIRWAY DO SO AS SOON AS POSSIBLE, UNLESS THEY ARE ASSISTING OTHERS.  
3. INFORMATION ON PLANNED AVAILABILITY OF ASSISTANCE IN THE USE OF STAIRS OR SUPERVISED OPERATION OF ELEVATORS AND HOW TO SUMMON SUCH ASSISTANCE. 4. DIRECTIONS FOR USE OF THE EMERGENCY COMMUNICATIONS SYSTEM.

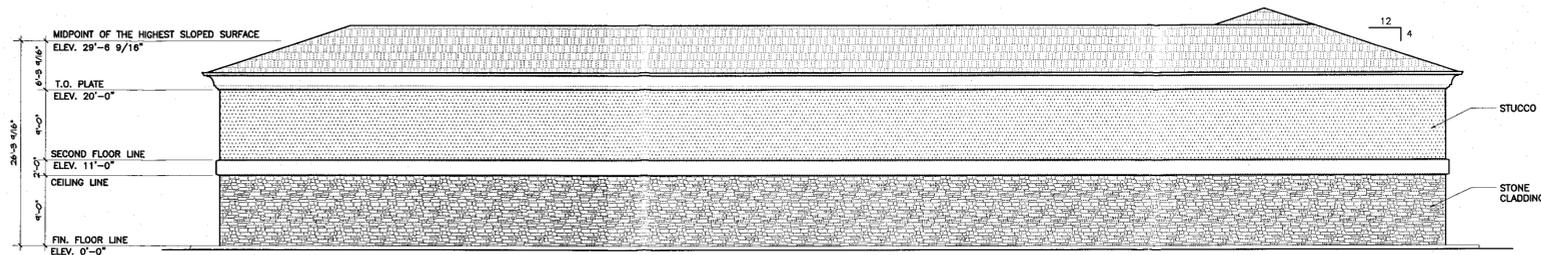
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1007.7 SIGNAGE. AT EXITS AND ELEVATORS SERVING A REQUIRED ACCESSIBLE SPACE BUT NOT PROVIDING AN APPROVED ACCESSIBLE MEANS OF EGRESS, SIGNAGE SHALL BE INSTALLED INDICATING THE LOCATION OF ACCESSIBLE MEANS OF EGRESS.

**LEGEND:**

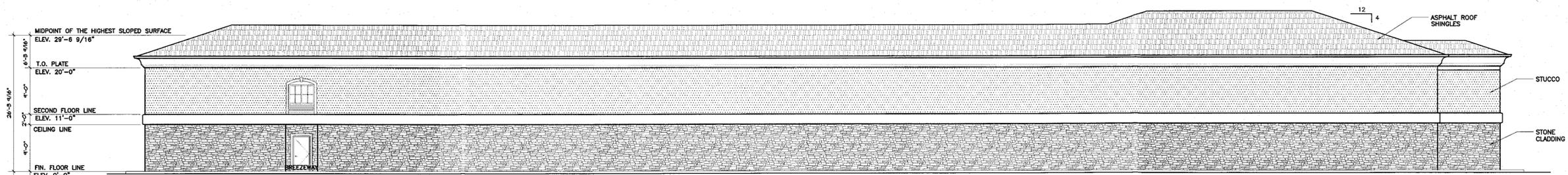
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- FEC - FIRE EXTINGUISHER CABINET
- MANUAL ALARM - FIRE ALARM CONTROL PANEL
- △ - WINDOW TYPE (A600)
- A — PARTITION TYPE (A206)

| ROOM TYPE              | ROOM COUNT   |                  |           |
|------------------------|--------------|------------------|-----------|
|                        | FIRST        | SECOND           | TOTAL     |
| K ROOM                 | 9            | 15               | 24        |
| DQ ROOM                | 9            | 9                | 18        |
| DQ ROOM W/ KITCHENETTE | 2            | 3                | 5         |
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| HC DQ (W/ ROLL-IN)     | 1            | -                | 1         |
| <b>TOTAL</b>           | <b>22</b>    | <b>27</b>        | <b>49</b> |
| ADA                    | ROLL-IN SHO. | HEARING IMPAIRED |           |
| -                      | -            | -                |           |

| FLOOR        | BUILDING AREA        |                     |                      |
|--------------|----------------------|---------------------|----------------------|
|              | INDOOR FLOOR AREA    | OUTDOOR FLOOR AREA  | TOTAL                |
| 1ST          | 11,447 SQ.FT.        | 2,166 SQ.FT.        | 13,613 SQ.FT.        |
| 2ND          | 11,447 SQ.FT.        | 2,130 SQ.FT.        | 13,577 SQ.FT.        |
| <b>TOTAL</b> | <b>22,894 SQ.FT.</b> | <b>4,296 SQ.FT.</b> | <b>27,190 SQ.FT.</b> |



**04 WEST ELEVATION**  
SCALE : 1/8" = 1'-0"



**03 SOUTH ELEVATION**  
SCALE : 3/32" = 1'-0"



**02 EAST ELEVATION**  
SCALE : 1/8" = 1'-0"



**01 NORTH ELEVATION**  
SCALE : 1/8" = 1'-0"



ARCHITECT:  
**NORMAN PATTEN & ASSOC.**  
ARCHITECTURE & PLANNING  
415 CORNHILL ST. # 200  
IRVING, TEXAS 75039  
Tel. No. (972) 252-3999; Fax: (972) 252-3999

OWNER/DEVELOPER:  
**A & M DEVELOPERS LLC**  
7701 Los Colinas Ridge, Ste. 250  
IRVING, TEXAS 75063

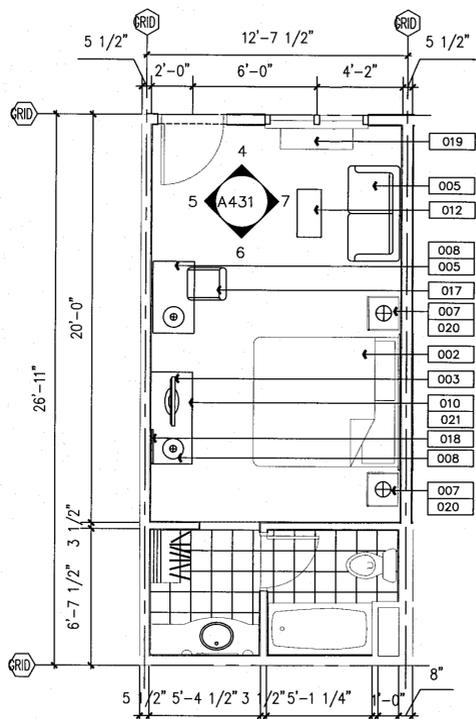
**INDEPENDENT MOTEL**  
SYMPHONY PARK DRIVE,  
CITY OF BRYAN

ARCHITECT'S SEAL

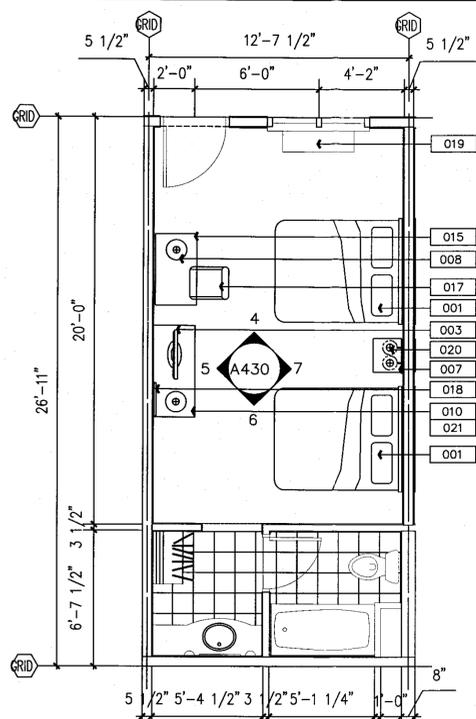
PROJECT STATUS:  
PRELIMINARY  
PROJECT MANAGER:  
FREDERICK L. GATELA  
DESIGN COORDINATOR:  
\_\_\_\_\_  
DRAWING BY:  
\_\_\_\_\_  
REVISION DATE:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

SHEET:  
**A300**

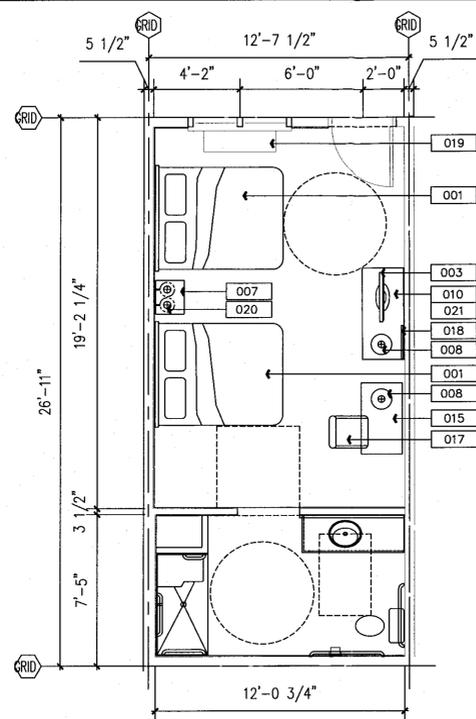
10/21/2014



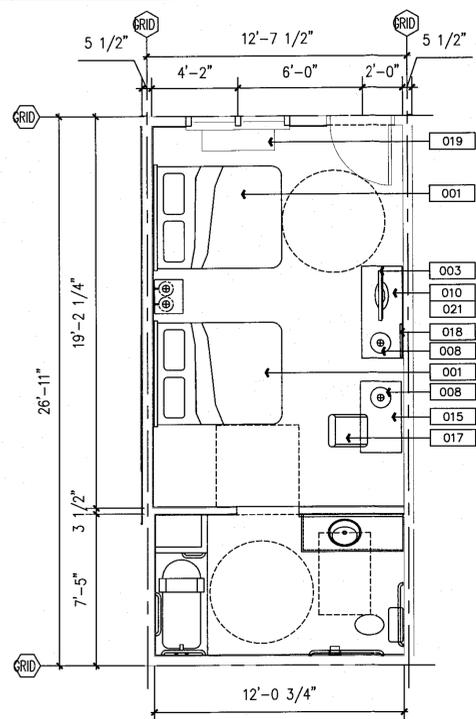
**01** TYP. KING ROOM ENLARGED PLAN  
SCALE : 1/4" = 1'-0"



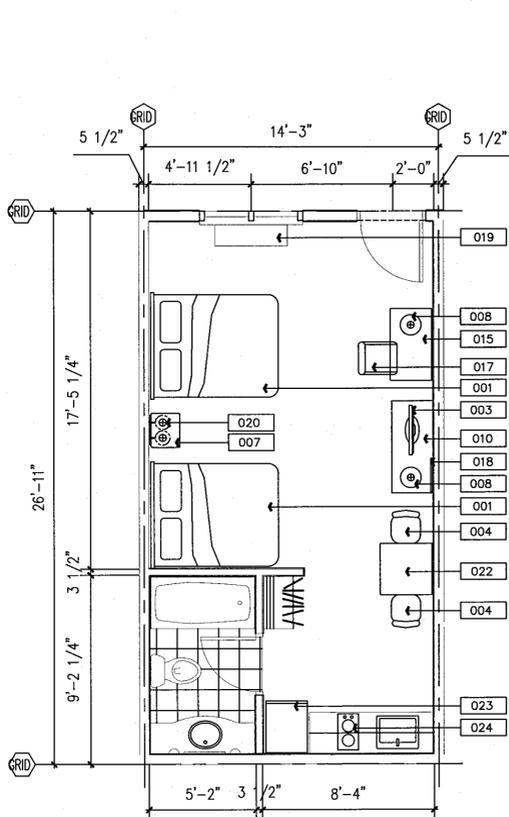
**02** TYP. DQ ROOM ENLARGED PLAN  
SCALE : 1/4" = 1'-0"



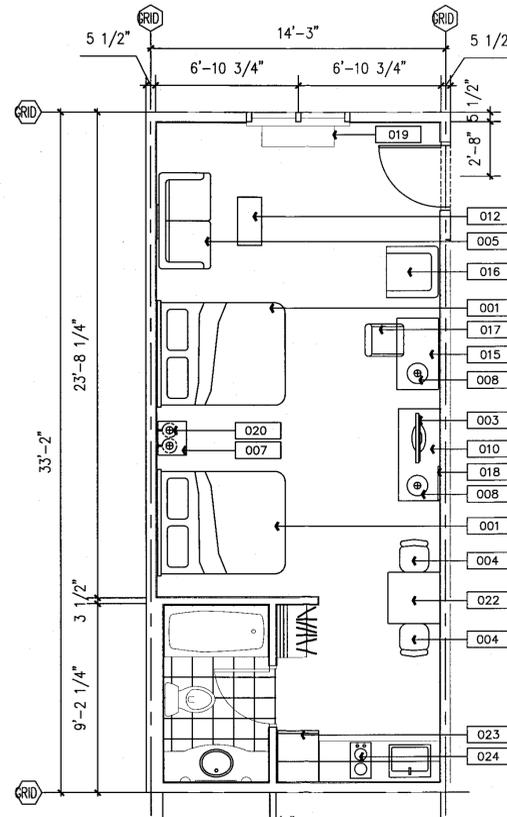
**03** ENLARGED ADA DQ RM W/ ROLL-IN SHO.  
SCALE : 1/4" = 1'-0"



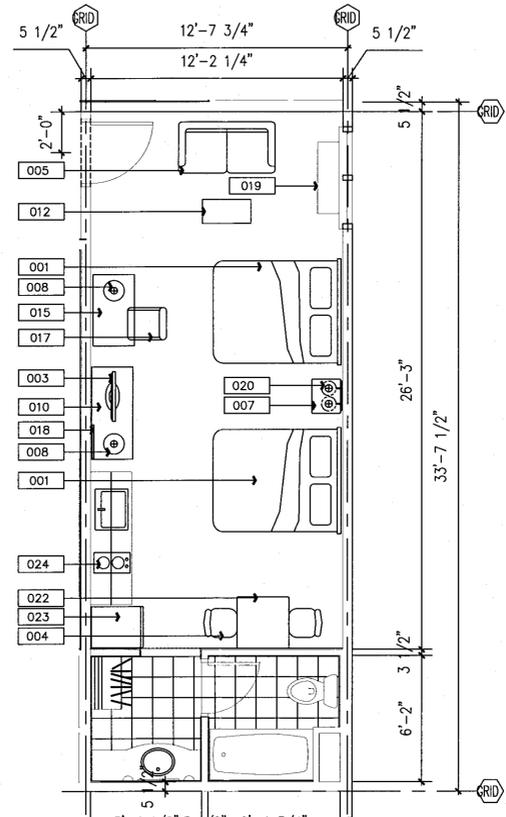
**04** ENLARGED ADA DQ ROOM  
SCALE : 1/4" = 1'-0"



**05** TYP. DQ ROOM W/ KITCHENETTE  
SCALE : 1/4" = 1'-0"



**06** TYP. EXTENDED DQ RM. W/ KITCHENETTE  
SCALE : 1/4" = 1'-0"



**07** TYP. EXTENDED DQ RM. W/ KITCHENETTE  
SCALE : 1/4" = 1'-0"

**CONSTRUCTION NOTES:**

- 1 PROTECT FRAMING WITH WATERPROOF PAPER WHERE THE FINISH IS SUBJECT TO WATER SPLASH (SECTION 2516-K)
- 2 SHOWER STALL WALLS SHALL BE FINISHED WITH A HARD NON-ABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 70 INCHES ABOVE THE DRAIN INLET (SECTION 510-B)
- 3 WINDOWS SHALL CONFORM TO EMERGENCY ESCAPE REQUIREMENTS (SEC. 1204) WINDOWS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOL OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- 4 DOOR (NOT WINDOW) SHALL CONFORM TO EMERGENCY ESCAPE REQUIREMENTS (SECTION 1204 & 3304-B EXCEPTION 2 & 3304-C EXCEPTION 2). THE DOOR SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. PROVIDE A NIGHT LATCH DEAD BOLT OR SECURITY CHAIN & MOUNT BELOW 48 INCHES ABOVE THE FINISH FLOOR.
- 5 GRAB BARS SHALL HAVE 1 1/2" Ø GRIPPING SURFACE (TAS 4.26.2) AND HAVE STRUCTURAL STRENGTH OF 250 lbs. (TAS 4.26.3).
- 6 FLUSH CONTROL FOR WATER CLOSETS AT 36" A.F.F. TO MEET ADA/TAS.
- 7 TYPICAL FOR ALL EXTERIOR WALLS FIRE CONSTRUCTION (1 HR. RATED) WITH STANDARD EXTERIOR FINISH SYSTEM (DRYVIT) WITH 1/2" PLYWOOD SHEATHING ON EXTERIOR FACE OF 2X4 STUDS AND 1 LAYER OF TYPE 'X' GYPSUM BOARD ON INTERIOR FACE, PLACED HORIZONTALLY OR VERTICALLY WITH 6d WALL BD. NAILS AT 16" O.C. NAIL 1/2" PLYWOOD WITH 8d AT 6 O.C. AT BOUNDARIES AND EDGES AND 12" O.C. ALONG INTERMEDIATE EDGES.
- 8 ALL INSULATION MATERIALS SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 25 AND SMOKE DENSITY RATING NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH S.B.C.C.I. 717. MANUFACTURER'S STAMP IDENTIFYING ABOVE VALUES MUST BE ON THE PRODUCTS.
- 9 FIRE STOPPING SHALL BE PROVIDED IN THE CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AT THE CEILING AND FLOOR LEVELS AND AT 10' INTERVALS ALONG THE LENGTH OF THE WALL.
- 10 PROVIDE FIRE STOPPING AROUND VENTS, PIPES, DUCTS AND SIMILAR OPENINGS, BOTH AT CEILING AND FLOOR LEVELS. USE 5/8" THICK, TYPE 'X' GYP. BD. AS FIRE STOP MATERIAL TWO OR MORE LAYERS OF GYP. BD. MAY BE REQUIRED DEPENDING ON THE CONDITION.
- 11 GYPSUM BOARD SHALL BE MANUFACTURED BY NATIONAL GYPSUM COMPANY AND SHALL BE 5/8" TYPE 'X' GOLDBOND, FIRE SHIELD G, OR APPROVED EQUAL.
- 12 VISUAL ALARMS SHALL BE INSTALLED IN ALL HANDICAP GUEST RMS./BATH RMS. & PUBLIC REST RMS.
- 13 PROVIDE 5/8" FIRE CODE GYP. BOARD BEHIND BATH TUBS (TYP.)

**FURNISHING LEGEND:**

- |     |                                       |
|-----|---------------------------------------|
| 001 | QUEEN SIZE BED W/ 60"Wx20"H HEADBOARD |
| 002 | KING SIZE BED W/ 72"Wx20"H HEADBOARD  |
| 003 | TV ON STAND                           |
| 004 | DINING CHAIR 18Wx22"Dx38"H            |
| 005 | SOFA SLEEPER FULL SIZE                |
| 006 | REFRIGERATOR & MICROWAVE              |
| 007 | NIGHT STAND 20"Wx16"Dx24"H (320 S.I.) |
| 008 | TABLE LAMP                            |
| 009 | WALL HANGER RACK WITH WOOD HANGERS    |
| 010 | CREDENZA 60"W OR 72"Wx20"Dx24"H       |
| 011 | MIRROR 25"Wx45"H                      |
| 012 | COFFEE TABLE 36"Wx16"D                |
| 013 | GUEST TABLE 30"Wx24"Dx28"H            |
| 014 | PHONE                                 |
| 015 | WORK DESK 1100 SQ. IN.                |
| 016 | LOUNGE CHAIR 36"Wx34"Dx36"H           |
| 017 | EXC. CHAIR 25"Wx26"Dx36"H             |
| 018 | ART WORK                              |
| 019 | PTAC                                  |
| 020 | NIGHT LAMP                            |
| 021 | MICROFRIDGE                           |
| 022 | DINING TABLE                          |
| 023 | FULL SIZE REFRIGERATOR                |
| 024 | 2-BURNER COOK TOP                     |

**SPECIAL NOTES:**

- A GUEST ROOMS & BATHROOMS FOR ACCESSIBLE & HEARING IMPAIRED SHALL HAVE AN AUDIBLE & VISUAL ALARM ACTIVATED BY THE IN ROOM SMOKE DETECTOR & AN AUDIBLE & VISUAL ALARM ACTIVATED BY THE BLDG. FIRE ALARM SYSTEM.
- B INSTALL PUSH BUTTON AT EACH ACCESSIBLE & HEARING IMPAIRED ROOMS FOR VISUAL ALARM, NOTIFICATION DEVICES & TELEPHONES.
- C CARPET THICKNESS SHALL NOT EXCEED 1/2".
- D ALL DOOR HANDLE SHALL BE LEVER TYPE.



**NORMAN PATTEN & ASSOC.**  
ARCHITECTURE & PLANNING  
413 CEDAR ST. • MAN-CEGAR HILL, TX 75044  
Tel. No. (972) 283-2925; Email: npat@normanpatten.com  
PH & VOICEMAIL: (972) 415-1130

**A & M DEVELOPERS LLC**  
7701 Los Collinas Ridge, Ste. 250  
IRVING, TEXAS 75063

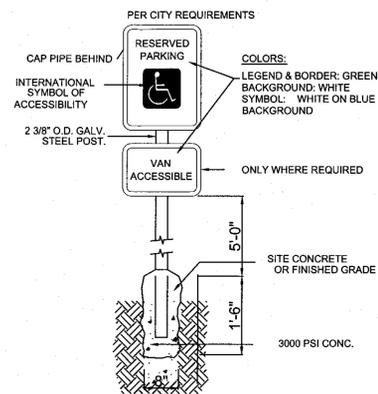
**INDEPENDENT MOTEL**  
CITY OF BRYAN  
SYMPHONY PARK DRIVE.

PROJECT STATUS: PRELIMINARY  
PROJECT MANAGER: FREDERICK L. GATELA  
DESIGN COORDINATOR:  
DRAWING BY:  
REVISION DATE:

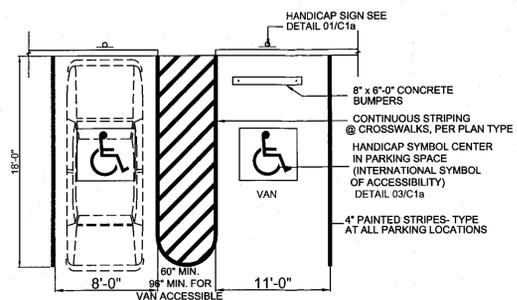
SHEET: **A430**

10/21/2014



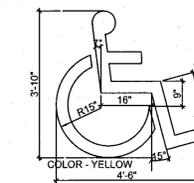


**01 DETAIL - HANDICAP SIGN**  
SCALE: NONE

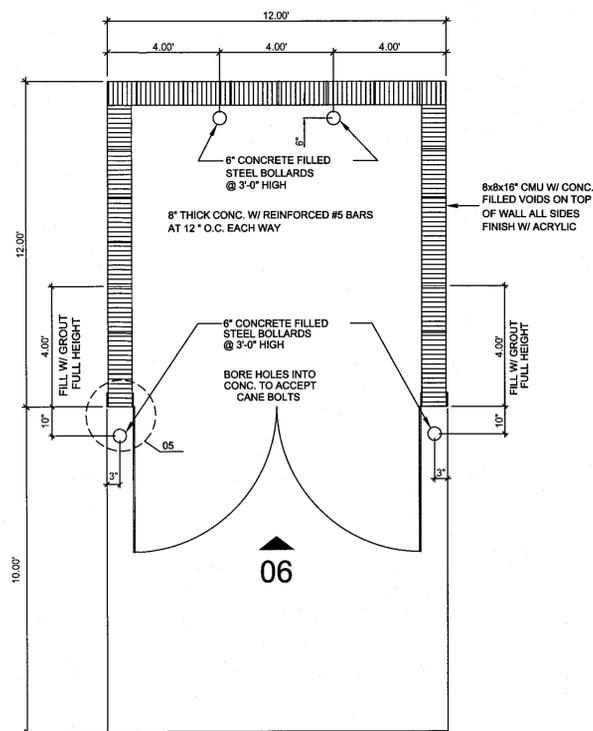


**02 PARKING GRAPHICS**  
SCALE: NONE

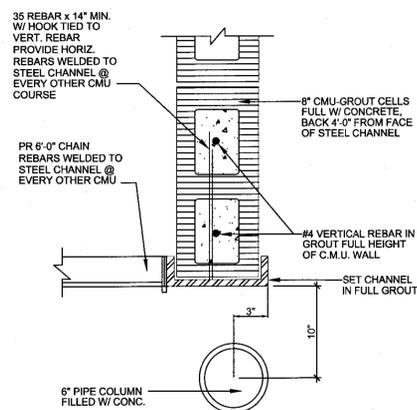
ACCESSIBLE ROUTE NOTES:  
1. MAXIMUM LONGITUDINAL SLOPE, 1:20  
2. MAXIMUM CROSS SLOPE, INCLUDING PARKING AISLE, 1:50



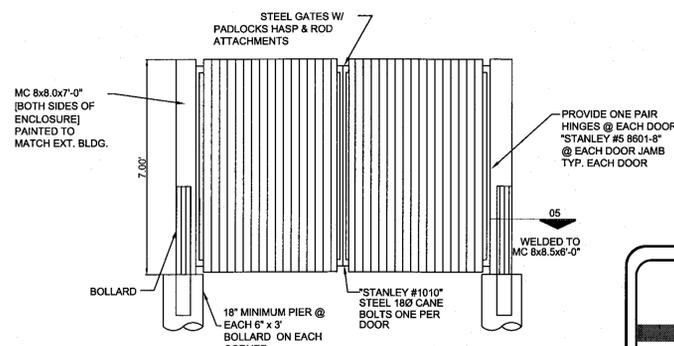
**03 HANDICAPPED PARKING SYMBOL**  
SCALE: NONE



**04 TRASH ENCLOSURE PLAN**  
SCALE: NONE



**05 MASONRY ENDWALL DETAIL**  
SCALE: NONE



**07 TRASH ENCLOSURE ELEVATION**  
SCALE: NONE

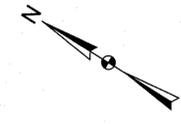
**GENERAL CONSTRUCTION NOTES**

IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO NOTIFY, PROVIDE INFORMATION, AND COOPERATE WITH THE CITY/COUNTY UTILITY DEPARTMENTS AND OTHER UTILITY COMPANIES CONCERNING THE LOCATION, DEPTH, SIZE AND ANY OTHER RELEVANT INFORMATION OF ALL UNDEVELOPED AND UNDISCOVERED UTILITIES INCLUDING GAS, FIBER OPTIC, COMMUNICATION CABLES, AND THE LIKE PRIOR TO PERFORMING ANY GROUND EXCAVATION, EMBANKMENT FILL OR HOLE DRILLING RELATED TO ONSITE OR OFF SITE WORK FOR THIS PROJECT.

**OWNERSHIP AND USE OF DRAWINGS**

THESE DRAWINGS WERE PREPARED OR ELECTRONICALLY TRANSMITTED BY THE ENGINEER, AN EISENHOUR CONSULTING, LLC, AND INSTRUMENTED BY THE CONTRACTOR. THE CONTRACTOR SHALL EXECUTE THE WORK DESCRIBED HEREIN ONLY IN ACCORDANCE WITH THE CITY/COUNTY UTILITY DEPARTMENTS AND OTHER UTILITY COMPANIES CONCERNING THE LOCATION, DEPTH, SIZE AND ANY OTHER RELEVANT INFORMATION OF ALL UNDEVELOPED AND UNDISCOVERED UTILITIES INCLUDING GAS, FIBER OPTIC, COMMUNICATION CABLES, AND THE LIKE PRIOR TO PERFORMING ANY GROUND EXCAVATION, EMBANKMENT FILL OR HOLE DRILLING RELATED TO ONSITE OR OFF SITE WORK FOR THIS PROJECT.

|  |   |
|--|---|
|  |   |
| <p>1044-Montgomery Street<br/>Mesquite, TX 75150</p> <p>Call No: 972.415.1700<br/>Toll-free: 214.501.2897</p>  |   |
| <p><b>PROJECT NAME:</b><br/>HANDICAP DETAILS &amp; DUMPSTER DETAILS<br/>PROP. 2 - STORY INDEPENDENT MOTEL<br/>SYMPHONY PARK DRIVE,<br/>CITY OF BRYAN<br/>1.258 ACRES</p> |   |
| <p><b>OWNER/DEVELOPER:</b><br/>AMR HOTELS LLC<br/>420 LACEBARK DRIVE<br/>IRVING, TEXAS 75063<br/>Cell #: 214.395.9398</p>  |   |
| <p><b>ENGINEER COMPANY:</b><br/>E.M. FAGGET ENGINEERING<br/>P.O. BOX 17605<br/>FORT WORTH, TEXAS 76102</p>   |   |
| <p><b>PROJECT STATUS:</b><br/>FOR PERMITTING</p>   | <p><b>ENGINEER'S SIGNATURE:</b><br/>FREDERICK L. GATELA</p> |
| <p><b>DESIGN COORDINATOR:</b><br/>E.M. FAGGET</p>  | <p><b>DATE:</b><br/>10/21/14</p>                            |
| <p><b>REVISION DATE:</b><br/>10/21/14</p>  | <p><b>SCALE:</b><br/>AS SHOWN</p>                           |
| <p><b>DATE:</b><br/>10/21/14</p>   | <p><b>BY:</b><br/>E.M. FAGGET</p>                           |
| <p><b>PROJECT NO.:</b><br/>14-00000000</p>   | <p><b>SHEET:</b><br/>C1a</p>                                |
| <p><b>DATE:</b><br/>10/21/14</p>   | <p><b>OF:</b><br/>13</p>                                    |



**STATE HIGHWAY NO. 6  
(EARL RUDDER FREEWAY)**  
R.O.W. WIDTH VARIES

FRONTAGE ROAD

**GENERAL NOTES:**

- ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS OF THE CITY OF BRYAN, TEXAS.
- CONTRACTOR SHALL PROVIDE "AS BUILT" PLANS TO THE ENGINEER SO THAT THE REPRODUCIBLES OF THE ENGINEERING PLANS MAY BE CORRECTED TO REFLECT "AS BUILT" CONDITIONS.
- THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE AND MAINTAIN ALL NECESSARY WARNING AND SAFETY DEVICES (FLASHING LIGHTS, BARRICADES, SIGNS, ETC.) TO PROTECT THE PUBLIC SAFETY AND HEALTH UNTIL THE WORK HAS BEEN COMPLETED AND ACCEPTED BY THE CITY.
- THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND VERIFY IN THE FIELD ANY UTILITIES THAT MAY CONFLICT WITH HIS CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION IN THE VICINITY OF UNDERGROUND UTILITIES, NOTIFY THE FOLLOWING AND ANY OTHER THAT MAY BE APPLICABLE.  
CITY OF BRYAN SEWER/WATER/TRAFFIC
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES OR SERVICE LINES CROSSED OR EXPOSED BY HIS WORK. WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN, OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE SAME WITH THE SAME TYPE OF ORIGINAL MATERIAL, OR BETTER AT HIS OWN EXPENSE. FAILURE TO SHOW UTILITY OR SERVICE LINES ON THE PLANS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PREVENT DAMAGE TO SAID LINES.
- STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED. SEDIMENT TRACKED ONTO EXISTING STREETS SHALL BE REMOVED IMMEDIATELY.
- ALL UTILITY WORK IN CITY R.O.W. TO BE IN ACCORDANCE WITH CITY OF BRYAN SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY PERMITS, PAYMENT OF ANY FEES AND PROVIDING BONDS NECESSARY FOR WORK IN ANY PUBLIC R.O.W.'S AS REQUIRED BY ANY GOVERNMENTAL AUTHORITY.
- ALL PLUMBING LINES, ELECTRICAL CONDUITS AND PVC SEWER LINES TO BE IMBEDDED IN 12" OF SAND, BACKFILLED & COMPACTED WITH SELECT FILL. ALL EMPTY CONDUITS TO HAVE END CAPS. CONDUIT FOR ELECTRICAL TO HAVE PULL STRINGS.
- WATER LINE PIPING SHALL BE PVC C900 CLASS 200 OR 14.
- SANITARY SEWER LINE IS TO BE SDR 35 PVC GREEN IN COLOR.
- CONTACT THE CITY ENGINEER FOR SCHEDULING OF PRECONSTRUCTION MEETING PRIOR TO STARTING CONSTRUCTION ON THE PUBLIC WORKS PORTION OF THE PROJECT.
- IN STREET CONSTRUCTION BARRICADE LAYOUT MUST MEET TMDOT WORK ZONE REQUIREMENTS.
- THE MINIMUM BURY DEPTH SHALL BE AT LEAST 48" FROM FINISHED GRADE TO THE TOP OF THE PIPE.

INSTALL:  
CONNECT PROP. 8" PVC SS LINE TO EXIST. SSMH & EXIST. FL TO FIELD VERIFY DURING CONSTRUCTION

INSTALL:  
1-6" TAPPING SLEEVE VALVE  
1-6" VALVE  
REFER TO BICS UNIFIED GATE VALVE BOX STD. DETAIL W1-00

INSTALL:  
1-6" ISOLATION VALVE  
(REFER TO BICS UNIFIED STD. FIRE HYDRANT ASSEMBLY (W1-02))

Lot 7, Block 5  
Now or Formerly  
R.H. Harrison, Trustee  
Vol. 5044, Pg. 159

INSTALL:  
1-6" TEE  
1-6" ISOLATION VALVE  
1-6" DOUBLE CHECK VALVE AS BACKFLOW PREVENTION ASSEMBLY (FIRELINE)

INSTALL:  
1-6" x 2" REDUCER COUPLING  
1-2" WATER METER (DOM.)  
1-2" DOUBLE CHECK VALVE AS BACKFLOW PREVENTION ASSEMBLY (DOM.)  
2-2" x 45° ELBOW  
(REFER TO CITY OF BRYAN STD. DETAIL W5-00)

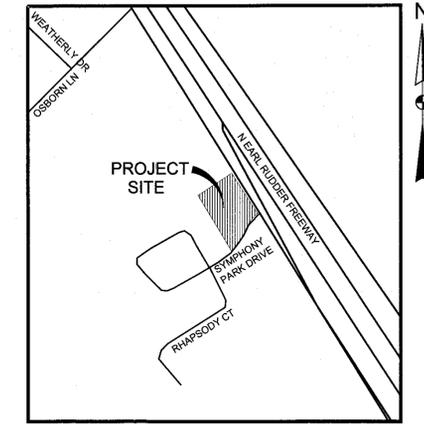
INSTALL:  
1-6" x 2" TEE  
1-2" WATER METER (IRR.)  
1-2" DOUBLE CHECK VALVE AS BACKFLOW PREVENTION ASSEMBLY (DOM.)  
2-2" x 45° ELBOW  
(REFER TO CITY OF BRYAN STD. DETAIL W5-00)

INSTALL:  
1-6" x 8" TAPPING SLEEVE VALVE  
1-6" VALVE  
REFER TO BICS UNIFIED GATE VALVE & BOX STD. DETAIL W1-00

INSTALL:  
2-6" x 45° ELBOW

INSTALL:  
2-6" x 45° ELBOW

INSTALL:  
2-6" x 45° ELBOW



VICINITY MAP SCALE: NONE

| LEGEND                             |           |                              |     |
|------------------------------------|-----------|------------------------------|-----|
| SANITARY SEWER MANHOLE             | SS        | EXISTING CONTOURS            | --- |
| STORM SEWER MANHOLE                | SM        | PROPOSED CONTOURS            | --- |
| CLEAN OUT                          | CO        | PROPOSED POWERLINE           | --- |
| FIRE HYDRANT                       | FH        | SANITARY SEWER PIPE          | --- |
| POWER POLE                         | PP        | EXISTING SANITARY SEWER PIPE | --- |
| TELEPHONE BOX                      | TB        | PROPOSED WATER LINE          | --- |
| WATER METER                        | WM        | EXISTING WATER LINE          | --- |
| GATE VALVE                         | GV        | PROPOSED WATER LINE          | --- |
| LIGHT POLE                         | LP        | PROPOSED POWERLINE           | --- |
| IRRIGATION SPRINKLER HEAD LOCATION | IS        | EXISTING POWERLINE           | --- |
| VAN ACCESSIBLE HANDICAP PARKING    | VA        | PROPOSED TELEPHONE LINE      | --- |
| SIGN LOCATION                      | SL        | EXISTING TELEPHONE LINE      | --- |
| RIGHT OF WAY                       | R.O.W.    | PROPOSED GAS LINE            | --- |
| EXIST. LIGHTPOLE                   | EXIST. LP | EXISTING GAS LINE            | --- |
| DRAINAGE & UTILITY EASEMENT        | DEUE      | PROPOSED GUY WIRE            | --- |
| GAS METER                          | GM        | EXISTING GUY WIRE            | --- |
| EXIST. WATER VALVE                 | EXIST. WV | OVERHEAD ELECTRICAL LINE     | --- |

PROP. 2-STORY INDEPENDENT MOTEL  
TOTAL BLDG. AREA = 27,180 SQ.FT.  
NO. OF ROOMS = 49

LOT 33, BLOCK 1  
LOT AREA = 1.236 ACRES

Lot 26  
Now or Formerly  
Debra Pfeiffer  
Vol. 8045, Pg. 114

Lot 27  
Now or Formerly  
Erma Mack  
Vol. 7180, Pg. 284

Lot 28  
Now or Formerly  
Michon Graves  
Vol. 7837, Pg. 206

Symphony Park Subdivision  
Phase One  
Vol. 5044, Pg. 159

Lot 29  
Now or Formerly  
Joe Courtney Homes  
Vol. 6370, Pg. 139

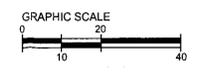
Block 1  
Lot 30  
Now or Formerly  
Joe Courtney Homes  
Vol. 6730, Pg. 139

Lot 32  
Now or Formerly  
Matthew & Jennifer Hammel  
Vol. 8156, Pg. 214

Lot 32  
Now or Formerly  
Matthew & Jennifer Hammel  
Vol. 8156, Pg. 214

Lot 1  
Now or Formerly  
Laphundra Polk Jefferson

**01 UTILITY PLAN**  
SCALE: 1" = 20'-0"



**GENERAL CONSTRUCTION NOTES**

IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO NOTIFY, PROVIDE INFORMATION AND COOPERATE WITH THE CITY/UTILITY DEPARTMENTS AND OTHER UTILITY COMPANIES REGARDING THE LOCATION, DEPTH, SIZE AND ANY RELATED INFORMATION OF ALL PROPOSED ABOVE AND UNDERGROUND UTILITIES INCLUDING GAS, FIBER OPTIC, COMMUNICATION CABLES, AND THE LIKE PRIOR TO PERFORMING ANY WORK. EDUCATION, EMPOWERMENT, FILL OR HOLE UNLESS RELATED TO ORIGIN OR OFF SITE WORK FOR THIS PROJECT.

**OWNERSHIP AND USE OF DRAWINGS**  
THESE DRAWINGS WHETHER PRINTED OR ELECTRONIC IN FORM, PREPARED BY THE ENGINEER, OR EISENHOUR CONSULTING, AND ANY INSTRUMENTS OF SERVICE THEREON SHALL BE THE PROPERTY OF EISENHOUR CONSULTING. ONLY THE ENGINEER SHALL HAVE AUTHORITY TO SIGN, SEAL, COPY, REPRODUCE OR OTHERWISE USE THESE DRAWINGS. UNLESS OTHERWISE AGREED TO OR PERMITTED IN WRITING BY THE ENGINEER, THESE DRAWINGS SHALL NOT BE COPIED.

THESE DRAWINGS SHALL BE USED SOLELY FOR THE PROJECT, THE CONTRACTOR, SUBCONTRACTOR, MATERIAL, OR EQUIPMENT SUPPLIER ARE PERMITTED TO USE OR REPRODUCE PORTIONS OF THE DRAWINGS RELATIVE TO THEIR PERFORMANCE CONTRACT AS SPECIFIED IN THE CONTRACT DOCUMENTS.

THESE DRAWINGS SHALL NOT BE USED BY THE CONTRACTOR, SUBCONTRACTOR, MATERIAL, OR EQUIPMENT SUPPLIER ON OTHER PROJECTS OR IN CONNECTION WITH THIS PROJECT OUTSIDE THE ORIGINAL SCOPE OF WORK WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ENGINEER.

OFFICIAL SUBMISSION OF THESE PLANS TO REGULATORY AGENCIES SHALL ONLY MEAN COMPLIANCE TO REGULATORY REQUIREMENTS AND SHALL NOT BE CONSIDERED AS PUBLICATION OR LOSS OF ENGINEER'S COPYRIGHT OR OTHER RESERVATORY RIGHTS.

1044 Menapahue Court  
Mesquite, TX 75150  
Cell No: 972.411.1730  
Tel/Fax: 214.501.2697

---

PROJECT NAME: **UTILITY PLAN  
PROP. 2 - STORY INDEPENDENT MOTEL**  
SYMPHONY PARK DRIVE,  
CITY OF BRYAN  
1.236 ACRES

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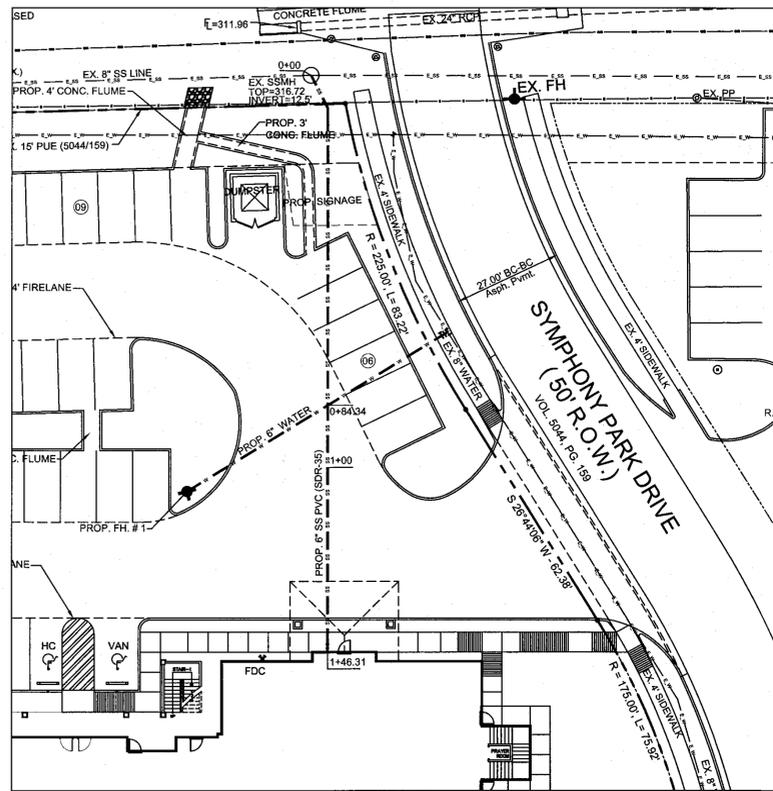
OWNER/DEVELOPER:  
**AMR HOTELS LLC**  
420 LACEBARK DRIVE  
IRVING, TEXAS 75063  
Cell #: 214.395.9398

---

ENGINEER COMPANY:  
**E.M. FAGGET ENGINEERING**  
P.O. BOX 17605  
FORT WORTH, TEXAS 76102

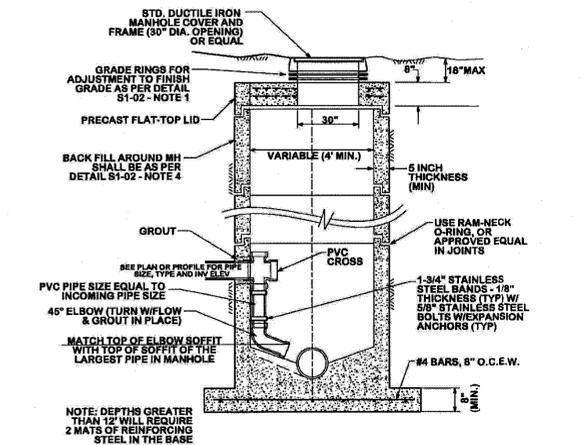
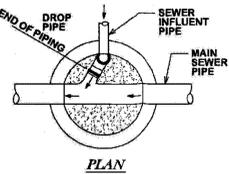
---

|   |   |                                |
|---|---|--------------------------------|
| PROJECT STATUS:<br>FOR PERMITTING       | ENGINEER'S SEAL/STAMP   | SHEET :<br><b>C2</b><br>OF: 13 |
| PROJECT MANAGER:<br>FREDERICK L. GATELA | DATE  |                                |
| DESIGN COORDINATOR:                     | DATE  |                                |
| REVISION DATE: 10/21/14                 | ON THE DATE INDICATED HEREIN, A SIGNATURE OF A REGISTERED PROFESSIONAL ENGINEER IS REQUIRED TO BE AFFIXED TO THESE DRAWINGS TO BE VALID FOR CONSTRUCTION UNDER THE TEXAS ENGINEERING ACT. |                                |
| DRAWN BY:                               |   |                                |



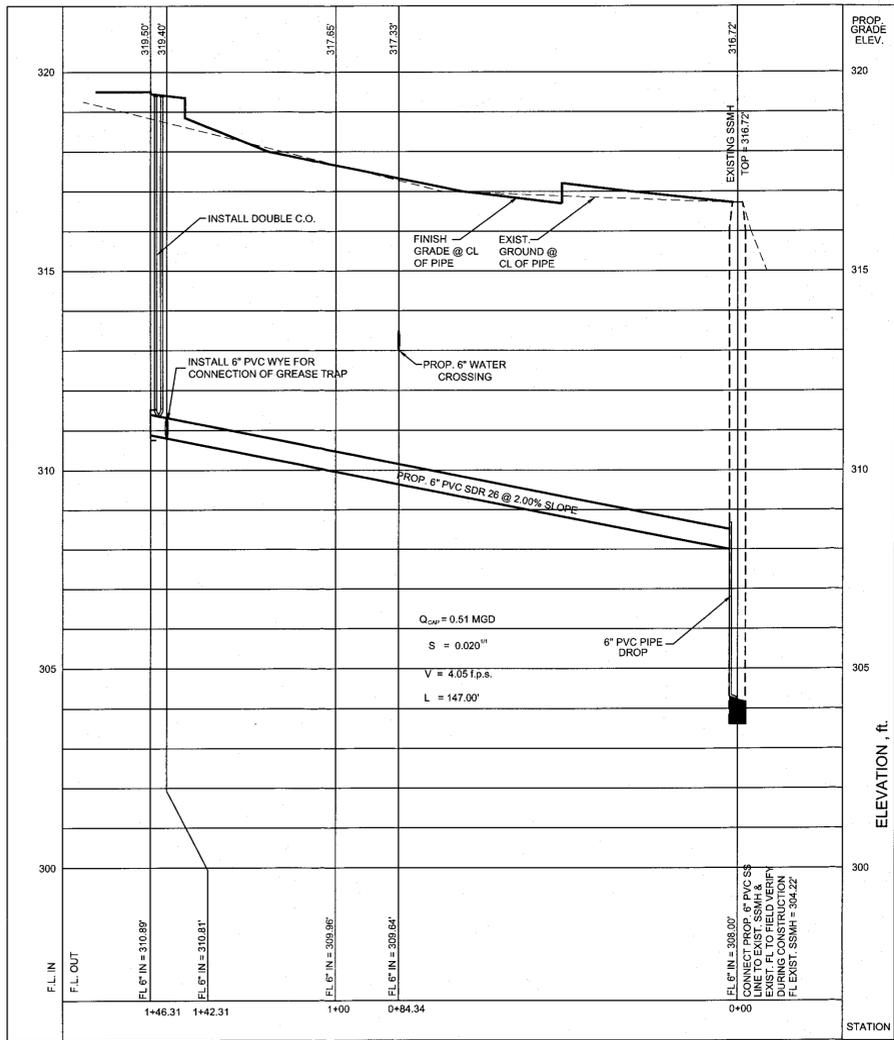
**01 PLAN OF 6" SS LINE**  
 HOR. SCALE: 1" = 20'-0"  
 GRAPHIC SCALE

**NOTE:**  
 MANHOLE BASE SHALL BE PLACED ON FIRM SUBGRADE. ADDITION OF CEMENT STABILIZED SAND OR GRAVEL MAY BE REQUIRED TO STABILIZE FOUNDATION.  
 IN EXISTING MANHOLE, PLACE PVC ELBOW ON BENCH, GROUT NEW BENCH TO SPRINGLINE AND TROWEL SMOOTH. FORM SMOOTH CHANNEL TO INVERT.  
 ALL NEW CONNECTION AT EXISTING MANHOLES SHALL BE BY CORING ONLY.



CITY OF BRYAN: DROP MANHOLE TO BE USED ON LINES UP TO 12" IN SIZE  
 CITY OF COLLEGE STATION: DROP MANHOLE TO BE USED ON LINES UP TO 4" IN SIZE

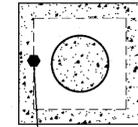
|  |                            |                               |  |
|--|----------------------------|-------------------------------|--|
|  | <b>INSIDE DROP MANHOLE</b> |                               |  |
|  | DATE<br><b>AUG. 2012</b>   | B/C/S UNIFIED STANDARD DETAIL |  |



**02 PROFILE OF 6" SS LINE**  
 HOR. SCALE: 1" = 20'-0"  
 VER. SCALE: 1" = 2'-0"

**GENERAL CONSTRUCTION NOTES**  
 IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO NOTIFY, PROVIDE INFORMATION, AND COORDINATE WITH THE CITY/COUNTY UTILITY DEPARTMENT AND OTHER UTILITY COMPANIES REGARDING THE LOCATION, DEPTH, SIZE, AND ANY RELEVANT INFORMATION OF ALL PROPOSED ABOVE AND UNDERGROUND UTILITIES INCLUDING GAS, FIBER OPTIC, COMMUNICATION CABLES, AND THE LOCAL PRIOR TO PERFORMING ANY DIRT WORK, EXCAVATION, EMBANKMENT, PILING, OR POLE OR LINE RELATED TO OR OF THIS WORK FOR THIS PROJECT.

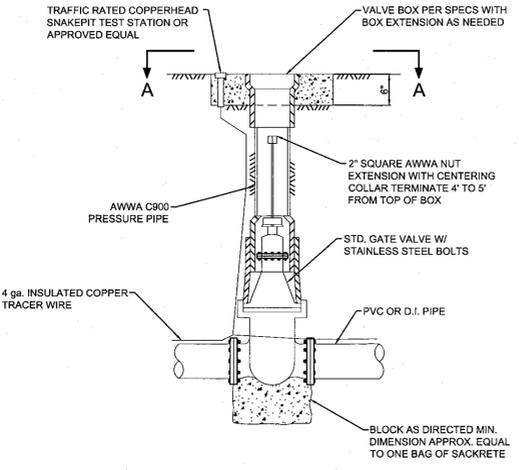
**OWNERSHIP AND USE OF DRAWINGS**  
 THESE DRAWINGS WHETHER PRINTED OR ELECTRONIC FORM PREPARED BY THE ENGINEER (J.R. EISENHOUR CONSULTING LLC) AND SUBMITTED TO THE CITY/COUNTY UTILITY DEPARTMENT AND OTHER UTILITY COMPANIES AS SPECIFIED IN THE CONTRACT DOCUMENTS. THESE DRAWINGS SHALL NOT BE USED BY THE CONTRACTOR, SUBCONTRACTOR, MATERIAL OR EQUIPMENT SUPPLIER, OR ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. ANY ALTERATION OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF THE ENGINEER SHALL BE AT THE USER'S SOLE RISK AND SHALL NOT BE CONSIDERED AS A PUBLICATION OR LOSS OF ENGINEER'S COPYRIGHT OR OTHER RESERVED RIGHTS.



24" X 24" X 6" 28 DAY CONCRETE STRENGTH=2000 psi WITH #4 BAR AROUND ALL VALVE BOX.

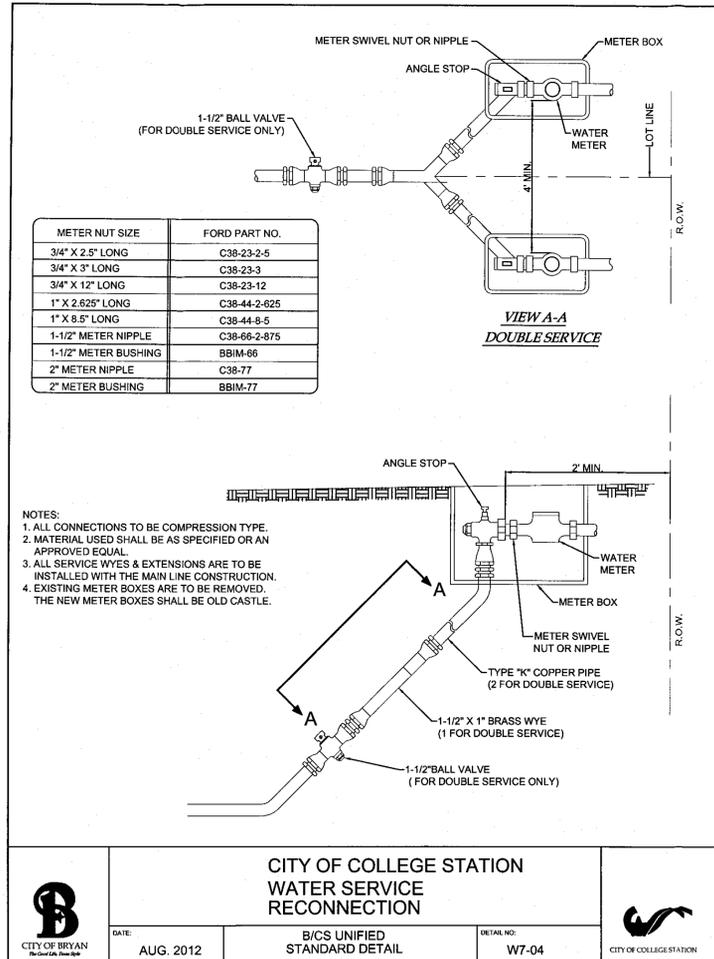
- NOTES:**
1. VALVE EXTENSION TO BE USED ONLY WHEN TOP OF GATE VALVE IS DEEPER THAN 5 FEET FROM FINISHED GRADE.
  2. ALL VALVE OPERATING NUT EXTENSIONS ARE TO BE MADE OF STEEL, SIZED AS NOTED, AND PAINTED WITH TWO (2) COATS OF METAL PAINT.
  3. EXTENSIONS SHALL BE A MINIMUM OF ONE (1) FOOT LONG.
  4. VALVE BOX LIDS LOCATED ON VALVES TO ISOLATE FIRE SUPPRESSION LINES FROM PUBLIC WATER LINES SHALL BE AMPRO USA, LL562 LOCKABLE LID.

VIEW A-A



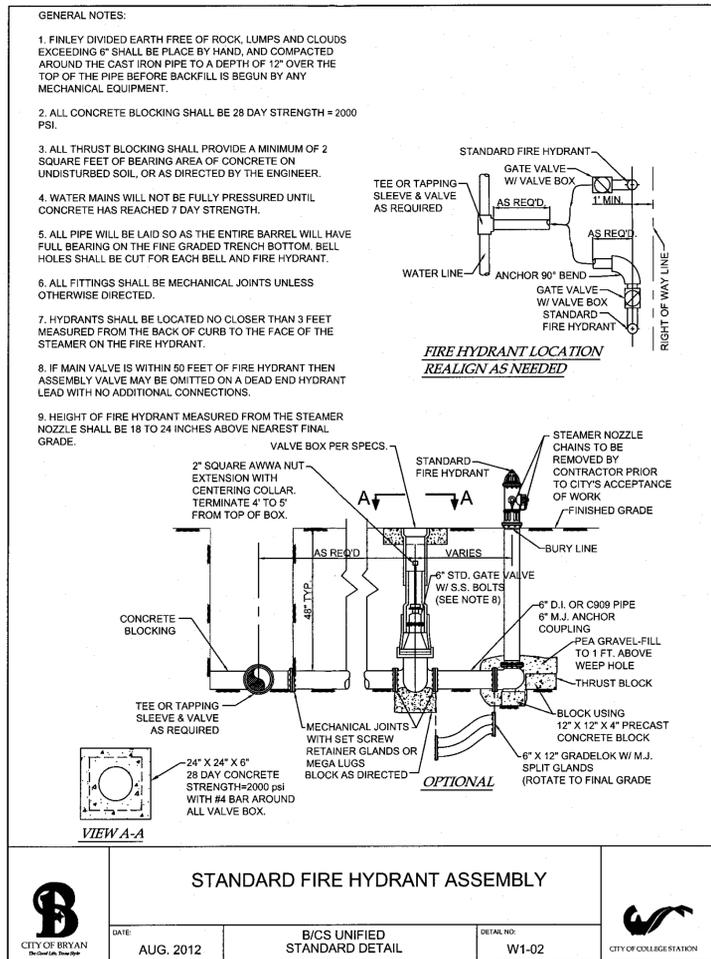
|  |                             |                               |  |
|--|-----------------------------|-------------------------------|--|
|  | <b>GATE VALVE &amp; BOX</b> |                               |  |
|  | DATE<br><b>AUG. 2012</b>    | B/C/S UNIFIED STANDARD DETAIL |  |

|   |  |
|---|--|
|   |  |
| <b>PLAN, PROFILE OF SS LINE AND UTILITY DETAILS</b><br><b>PROP. 2 - STORY INDEPENDENT MOTEL</b><br>SYMPHONY PARK DRIVE,<br>CITY OF BRYAN<br>1.236 ACRES |  |
| <b>OWNER/DEVELOPER</b><br><b>AMR HOTELS LLC</b><br>420 LACEBARK DRIVE<br>IRVING, TEXAS 75063<br>Cell #: 214.395.9398                                    |  |
| <b>ENGINEER COMPANY</b><br><b>E.M. FAGGET ENGINEERING</b><br>P.O. BOX 17605<br>FORT WORTH, TEXAS 76102  |  |
| <b>PROJECT STATUS:</b><br>FOR PERMITTING  | <b>ENGINEER'S STATUS/STATUS:</b><br>PREPARED   |
| <b>PROJECT MANAGER:</b><br>FREDERICK L. GATELA  | <b>DATE:</b><br>ON THE DATE INDICATED HEREIN, ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING ACT. |
| <b>REVISION DATE:</b> 10/21/14<br><b>DATE:</b> 10/21/14<br><b>DATE:</b> 10/21/14  | <b>SHEET:</b><br><b>C2a</b><br>OF 13   |



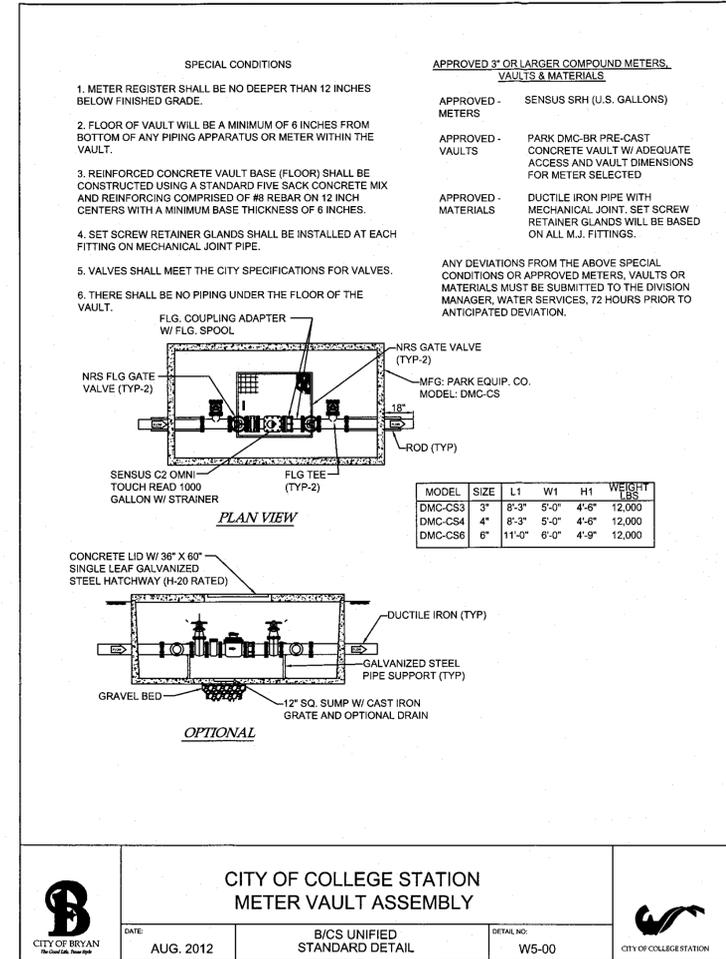
**CITY OF COLLEGE STATION WATER SERVICE RECONNECTION**

DATE: AUG. 2012      B/C'S UNIFIED STANDARD DETAIL      DETAIL NO: W7-04



**STANDARD FIRE HYDRANT ASSEMBLY**

DATE: AUG. 2012      B/C'S UNIFIED STANDARD DETAIL      DETAIL NO: W1-02



**CITY OF COLLEGE STATION METER VAULT ASSEMBLY**

DATE: AUG. 2012      B/C'S UNIFIED STANDARD DETAIL      DETAIL NO: W5-00

**GENERAL CONSTRUCTION NOTES**  
 IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO NOTIFY PROVIDER INFORMATION AND COORDINATION WITH THE CITY/COUNTY UTILITY DEPARTMENT AND OTHER UTILITY COMPANIES REGARDING THE LOCATION, DEPTH, SIZE AND ANY NEARBY UTILITIES OF ALL PROPOSED ABOVE AND UNDERGROUND UTILITIES INCLUDING GAS, FIBER OPTIC, COMMUNICATION CABLES, AND THE USE, PRIOR TO PERFORMING ANY GROUND EXCAVATION, EMBANKMENT FILL OR HOLE DRILLING RELATED TO GROUND OR OFF SITE WORK FOR THIS PROJECT.

**OWNERSHIP AND USE OF DRAWINGS**  
 THESE DRAWINGS WHETHER PRINTED OR ELECTRONIC IN FORM, PREPARED BY THE ENGINEER, JR. EISENHOUR CONSULTING, LLC, ARE INSTRUMENTS OF SERVICE THROUGH WHICH THE CONTRACTOR SHALL EXECUTE THE WORK DESCRIBED HEREIN. ONLY THE ENGINEER SHALL OWN, CLAIM AUTHORSHIP, CLAIM COPYRIGHT OR RETAIN ANY OTHER RESERVED RIGHTS ON THESE DRAWINGS. UNLESS OTHERWISE AGREED TO OR PROMISED IN WRITING BY THE ENGINEER, THESE DRAWINGS SHALL NOT BE COPIED.  
 THESE DRAWINGS SHALL BE USED SOLELY FOR THIS PROJECT. THE CONTRACTOR, SUBCONTRACTOR, MATERIAL OR EQUIPMENT SUPPLIER ARE PROHIBITED TO USE OR REPRODUCE PORTIONS OF THE DRAWINGS RELATIVE TO THEIR PERFORMANCE CONTRACT AS SPECIFIED IN THE CONTRACT DOCUMENTS.  
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 OFFICIAL SUBMISSION OF THESE PLANS TO REGULATORY AGENCIES SHALL ONLY MEAN COMPLIANCE TO REGULATORY REQUIREMENTS AND SHALL NOT BE CONSIDERED AS PUBLICATION OR LOSS OF ENGINEER'S COPYRIGHTS OR OTHER RESERVED RIGHTS.

**EISENHOUR Consulting, LLC**  
 (844) Morningstar Court  
 Mesquite, TX, 75150      Cell No: 972.415.1739  
 Tel/Fax: 214.501.2697

**PROJECT NAME:** UTILITY DETAILS  
 PROP. 2 - STORY INDEPENDENT MOTEL  
 SYMPHONY PARK DRIVE,  
 CITY OF BRYAN  
 1.236 ACRES

**OWNER/DEVELOPER:** AMR HOTELS LLC  
 420 LACEBARK DRIVE  
 IRVING, TEXAS 75063  
 Cell #: 214.395.9398

**ENGINEER COMPANY:** E.M. FAGGET ENGINEERING  
 P.O. BOX 17605  
 FORT WORTH, TEXAS 76102

**PROJECT STATUS:** FOR PERMITTING  
**PROJECT MANAGER:** FREDERICK L. GATELA  
**DESIGN COORDINATOR:** \_\_\_\_\_  
**REVISION DATE:** 10/21/14  
**PLT/ DATE:** 10/21/14  
**DRAWING BY:** \_\_\_\_\_

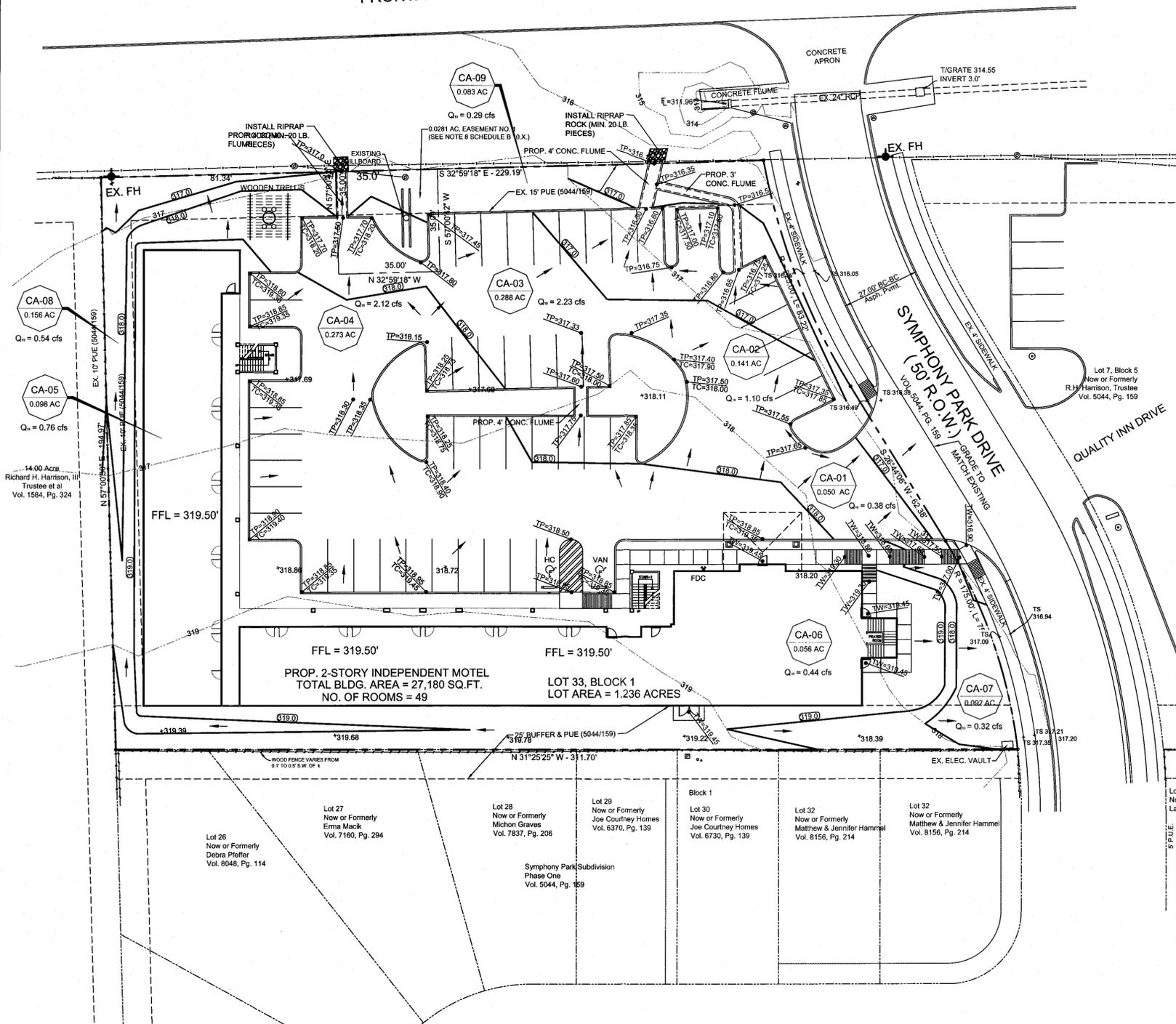
**ENCLOSURE'S SIGNATURE/SEAL:** \_\_\_\_\_  
**DATE:** \_\_\_\_\_  
 ON THE DATE INDICATED HEREIN, I HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL ENGINEER AND THAT I AM THE RESPONSIBLE ENGINEER IN CHARGE OF THE DESIGN OF THE PROJECT DESCRIBED IN THESE DRAWINGS.

**SHEET:** C2b  
**OF:** 13

**STATE HIGHWAY NO. 6  
(EARL RUDDER FREEWAY)**  
R.O.W. WIDTH VARIES

FRONTAGE ROAD

EXIT RAMP



CA-08  
0.156 AC  
Q<sub>s</sub> = 0.54 cfs

CA-05  
0.098 AC  
Q<sub>s</sub> = 0.76 cfs

CA-04  
0.273 AC  
Q<sub>s</sub> = 2.12 cfs

CA-03  
0.288 AC  
Q<sub>s</sub> = 2.23 cfs

CA-02  
0.141 AC  
Q<sub>s</sub> = 1.10 cfs

CA-01  
0.050 AC  
Q<sub>s</sub> = 0.38 cfs

CA-06  
0.056 AC  
Q<sub>s</sub> = 0.44 cfs

CA-07  
0.092 AC  
Q<sub>s</sub> = 0.32 cfs

FFL = 319.50'

FFL = 319.50'

PROP. 2-STORY INDEPENDENT MOTEL  
TOTAL BLDG. AREA = 27,180 SQ.FT.  
NO. OF ROOMS = 49

LOT 33, BLOCK 1  
LOT AREA = 1.236 ACRES

Lot 26  
Now or Formerly  
Debra Pfeiffer  
Vol. 8048, Pg. 114

Lot 27  
Now or Formerly  
Ernie Mack  
Vol. 7160, Pg. 294

Lot 28  
Now or Formerly  
Michon Graves  
Vol. 7837, Pg. 206

Lot 29  
Now or Formerly  
Joe Courtney Homes  
Vol. 6370, Pg. 139

Lot 30  
Now or Formerly  
Joe Courtney Homes  
Vol. 6739, Pg. 139

Lot 32  
Now or Formerly  
Matthew & Jennifer Hammel  
Vol. 8156, Pg. 214

Lot 32  
Now or Formerly  
Matthew & Jennifer Hammel  
Vol. 8156, Pg. 214

Lot 1  
Now or Formerly  
Laphundrea Polk Jefferson

**01 GRADING AND DRAINAGE PLAN**  
SCALE: 1" = 20'-0"



**NOTES:**  
1. THIS PROPERTY IS NOT IN A 100-YEAR FLOOD HAZARD AREA ACCORDING TO THE FLOOD INSURANCE RATE MAPS (FIRM) PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF BRYAN (MAP NO. 48041C0134C - DATED: JULY 2, 1992)

**GENERAL NOTES:**

1. A GRADING PERMIT MUST BE OBTAINED FROM CITY OF BRYAN PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
2. EROSION CONTROL WILL BE REQUIRED DURING ALL PHASES OF CONSTRUCTION. EROSION CONTROL MEASURES PER CITY OF BRYAN STANDARD REQUIREMENTS.

**SITE WORK GRADING PREPARATION**

1. INCLUDE ALL DEMOLITION AS REQUIRED FOR CONSTRUCTION, EXCEPT REMOVAL OF RESIDENCE WHICH SHALL BE MOVED BY OWNER. EXISTING HOUSE FOUNDATION AND BRICK TO BE REMOVED BY DEMOLITION CONTRACTOR. BURY DEBRIS ON REAR PORTION OF LOT AT SITE DESIGNATED BY OWNER (SEE PLAN).
2. SUBGRADE PREPARATION: SURFACE VEGETATION AND ANY FOREIGN MATERIALS SHOULD BE STRIPPED AND REMOVED PRIOR TO CONSTRUCTION OF THE BUILDING PAD AND PAVEMENTS. IT IS ESTIMATED THAT THIS MAY CONSIST OF STRIPPING BETWEEN 3 TO 6 INCHES OF EXISTING SOILS AT THE SITE.
3. GOOD DRAINAGE SHOULD BE ESTABLISHED AT THE OUTSET OF CONSTRUCTION AND MAINTAINED TO PREVENT WATER FROM PONDING IN THE BUILDING AND PAVING AREAS.
4. WASTE CUT ON UNUSED PORTION OF LOT. LEAVE SMOOTH IN MOWABLE CONDITION.
5. THE EXPOSED SUBGRADE SHOULD BE SCARIFIED TO A MINIMUM DEPTH OF SIX INCHES, THE MOISTURE ADJUSTED, AND RECOMPACTED TO NOT LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS OBTAINABLE IN THE STANDARD COMPACTION PROCEDURE (ASTM D-698) IN A MOISTURE RANGE OF OPTIMUM TO +3% ABOVE THE SOIL'S OPTIMUM MOISTURE CONTENT.

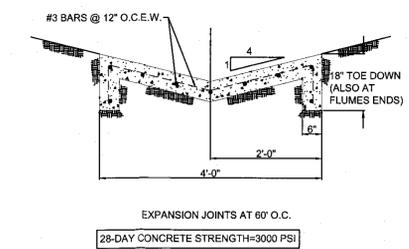
6. IN FILL SECTIONS SUPPORTING PAVEMENTS, FLATWORK AND DISPLAY AREA THE FILL AND SUBGRADE SHOULD BE COMPACTED TO A MINIMUM DENSITY OF NINETY-FIVE (95) PERCENT OF ASTM D-698 TO LIMIT SETTLEMENT. ANY CLAY FILL MATERIALS BELOW PAVEMENTS OR FLATWORK SHOULD NOT BE COMPACTED OVER ONE HUNDRED (100) PERCENT DENSITY. FILLS SHOULD BE COMPACTED IN MAXIMUM 9-INCH LOOSE FILL.

7. SELECT FILL: THE MATERIAL USED AS SELECT FILL SHOULD BE A VERY SANDY OR CLAYEY SAND WITH A LIQUID LIMIT OF LESS THAN 40 AND A PLASTICITY INDEX BETWEEN 5 AND 15. A MINIMUM OF 20 PERCENT OF THE SOIL SHOULD PASS THE NO. 200 SIEVE. THE MATERIAL SHOULD BE SPREAD IN LOOSE HORIZONTAL LIFTS, LESS THAN 9 INCHES THICK, AND BE UNIFORMLY COMPACTED TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM STANDARD PROCTOR DENSITY BETWEEN -1 AND +3 PERCENTAGE POINTS OF ITS OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D-698. IT IS RECOMMENDED THE SELECT FILL PLACEMENT BEGIN IMMEDIATELY AFTER THE SUBGRADE HAS BEEN PREPARED.
8. POSITIVE DRAINAGE MUST BE PROVIDED AWAY FROM THE STRUCTURE TO PREVENT THE PONDING OF WATER IN THE SELECT FILL.
9. CARE MUST BE TAKEN THAT BACKFILL AGAINST THE EXTERIOR FACE OF GRADE BEAMS IS PROPERLY COMPACTED ON-SITE CLAY. THE SELECT FILL SHOULD NOT EXTEND OUTSIDE THE LIMITS OF THE STRUCTURE.
10. ANY NEED TO LIVE STABILIZE SUBGRADE UNDER PAVING OR WATER INJECT SUBGRADE BENEATH SELECT FILL WILL BE DETERMINED BY TESTING FOLLOWING SUBGRADE EXCAVATION.
11. ALL LABORATORY TESTING TO BE AT OWNER'S EXPENSE. SEQUENCE TO BE DETERMINED BY G.C. OWNER AND OWNER'S ENGINEER.

**RUNOFF COMPUTATION (POST-DEVELOPMENT)**

| AREA NO. | AREA (ac) | C    | t <sub>c</sub> (min) | I <sub>a</sub> (in/hr) | Q <sub>a</sub> (cfs) | I <sub>p</sub> (in/hr) | Q <sub>p</sub> (cfs) | I <sub>10</sub> (in/hr) | Q <sub>10</sub> (cfs) | REMARKS   |
|----------|-----------|------|----------------------|------------------------|----------------------|------------------------|----------------------|-------------------------|-----------------------|---|
| CA-01    | 0.050     | 0.90 | 10                   | 8.635                  | 0.38                 | 9.861                  | 0.44                 | 11.639                  | 0.52                  | SHEET FLOW ACROSS PAVING TO SYMPHONY PARK DRIVE               |
| CA-02    | 0.141     | 0.90 | 10                   | 8.635                  | 1.10                 | 9.861                  | 1.25                 | 11.639                  | 1.48                  | SHEET FLOW ACROSS ROOFING & PAVING TO PROP. 2' CONC. FLUME    |
| CA-03    | 0.288     | 0.90 | 10                   | 8.635                  | 2.23                 | 9.861                  | 2.55                 | 11.639                  | 3.01                  | SHEET FLOW ACROSS ROOFING & PAVING TO PROP. 4' CONC. FLUME    |
| CA-04    | 0.273     | 0.90 | 10                   | 8.635                  | 2.12                 | 9.861                  | 2.42                 | 11.639                  | 2.86                  | SHEET FLOW ACROSS ROOFING & PAVING TO PROP. 3' CONC. FLUME    |
| CA-05    | 0.098     | 0.90 | 10                   | 8.635                  | 0.76                 | 9.861                  | 0.87                 | 11.639                  | 1.02                  | SHEET FLOW ACROSS ROOFING TO LANDSCAPE TO EXISTING FLUME      |
| CA-06    | 0.056     | 0.90 | 10                   | 8.635                  | 0.44                 | 9.861                  | 0.50                 | 11.639                  | 0.59                  | SHEET FLOW ACROSS ROOFING TO LANDSCAPE TO SYMPHONY PARK DRIVE |
| CA-07    | 0.092     | 0.40 | 10                   | 8.635                  | 0.32                 | 9.861                  | 0.36                 | 11.639                  | 0.43                  | SHEET FLOW ACROSS LANDSCAPE TO SYMPHONY PARK DRIVE            |
| CA-08    | 0.156     | 0.40 | 10                   | 8.635                  | 0.54                 | 9.861                  | 0.61                 | 11.639                  | 0.72                  | SHEET FLOW ACROSS TO LANDSCAPE TO EXISTING FLUME              |
| CA-09    | 0.063     | 0.40 | 10                   | 8.635                  | 0.29                 | 9.861                  | 0.33                 | 11.639                  | 0.38                  | SHEET FLOW ACROSS TO LANDSCAPE TO EXISTING FLUME              |
| TOTAL    | 1.236     |      |                      |                        | 8.17                 |                        | 9.34                 |                         | 11.02                 |   |

THEREFORE Q10 TOTAL = 8.17 CFS < Q10 ALLOWABLE = 14.2 CFS  
(AS PER SYMPHONY PARK DRAINAGE REPORT EXHIBIT B & C-1)

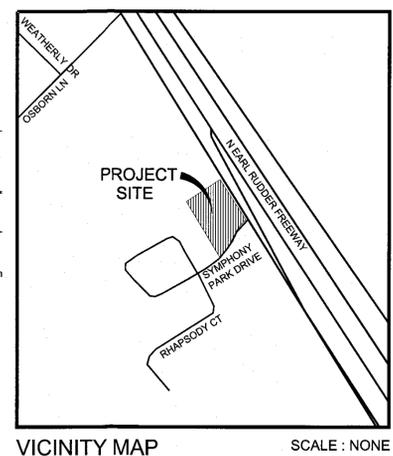


**STANDARD FLUME SECTION**

DATE: AUG. 2012  
B/C/S UNIFIED STANDARD DETAIL  
DETAIL NO: D2-04  
CITY OF BRYAN  
CITY OF COLLEGE STATION

**LEGEND**

|                                    |        |                              |
|------------------------------------|--------|------------------------------|
| SANITARY SEWER MANHOLE             | SS     | EXISTING CONTOURS            |
| STORM SEWER MANHOLE                | SM     | PROPOSED CONTOURS            |
| CLEAN OUT                          | CO     | EXISTING SANITARY SEWER PIPE |
| FIRE HYDRANT                       | FH     | EXISTING WATER LINE          |
| POWER POLE                         | PP     | EXISTING TELEPHONE LINE      |
| TELEPHONE BOX                      | TB     | PROPOSED POWER LINE          |
| WATER METER                        | WM     | EXISTING POWER LINE          |
| GATE VALVE                         | GV     | PROPOSED GAS LINE            |
| LIGHT POLE                         | LP     | EXISTING GAS LINE            |
| IRRIGATION SPRINKLER HEAD LOCATION | IS     | PROPOSED TELEPHONE LINE      |
| VAN ACCESSIBLE HANDICAP PARKING    | HA     | EXISTING TELEPHONE LINE      |
| SIGN LOCATION                      | SL     | PROPOSED GAS LINE            |
| RIGHT OF WAY                       | R.O.W. | EXISTING GAS LINE            |
| EXIST. LIGHTPOLE                   | EL     | PROPOSED GUY WIRE            |
| EXIST. UTILITY EASEMENT            | EU     | EXISTING GUY WIRE            |
| TOP OF SIDEWALK                    | TS     | OVERHEAD ELECTRICAL LINE     |
| TOP OF CURB                        | TC     | PROPOSED DRAINAGE DIVIDE     |
| TOP OF PAVEMENT                    | TP     |                              |



**VICINITY MAP** SCALE: NONE

**GENERAL CONSTRUCTION NOTES**

IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO NOTIFY, PROVIDE INFORMATION, AND COOPERATE WITH THE CITY OF BRYAN UTILITY DEPARTMENT AND OTHER UTILITY OWNERS PRIOR TO CONSTRUCTION OF ANY UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BRYAN AND OTHER AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BRYAN AND OTHER AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BRYAN AND OTHER AGENCIES.

**OWNERSHIP AND USE OF DRAWINGS**

THESE DRAWINGS ARE THE PROPERTY OF E.M. FAGGET ENGINEERING, L.L.C. AND SHALL REMAIN THE PROPERTY OF E.M. FAGGET ENGINEERING, L.L.C. THE CONTRACTOR SHALL NOT BE PERMITTED TO REPRODUCE OR TRANSMIT IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF E.M. FAGGET ENGINEERING, L.L.C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BRYAN AND OTHER AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BRYAN AND OTHER AGENCIES.

**EISENHOUR Consulting, LLC**  
1044 Monticello Court  
Mesquite, TX 75150  
Call No: 972.415.1730  
Toll-Free: 1-800-951-2997

PROJECT NAME: **GRADING AND DRAINAGE PLAN  
PROP. 2 - STORY INDEPENDENT MOTEL**  
SYMPHONY PARK DRIVE,  
CITY OF BRYAN  
1.236 ACRES

OWNER/DEVELOPER: **AMR HOTELS LLC**  
420 LACEBARK DRIVE  
IRVING, TEXAS 75063  
Cell #: 214.395.9398

ENGINEER COMPANY: **E.M. FAGGET ENGINEERING**  
P.O. BOX 17805  
FORT WORTH, TEXAS 76102

PROJECT STATUS: **FOR PERMITTING**

PROJECT ARCHITECT: **FREDERICK L. GATELA**

DESIGN COORDINATOR: \_\_\_\_\_

REVISION DATE: 10/21/14  
PROJECT DATE: 10/21/14  
DRAWING BY: \_\_\_\_\_

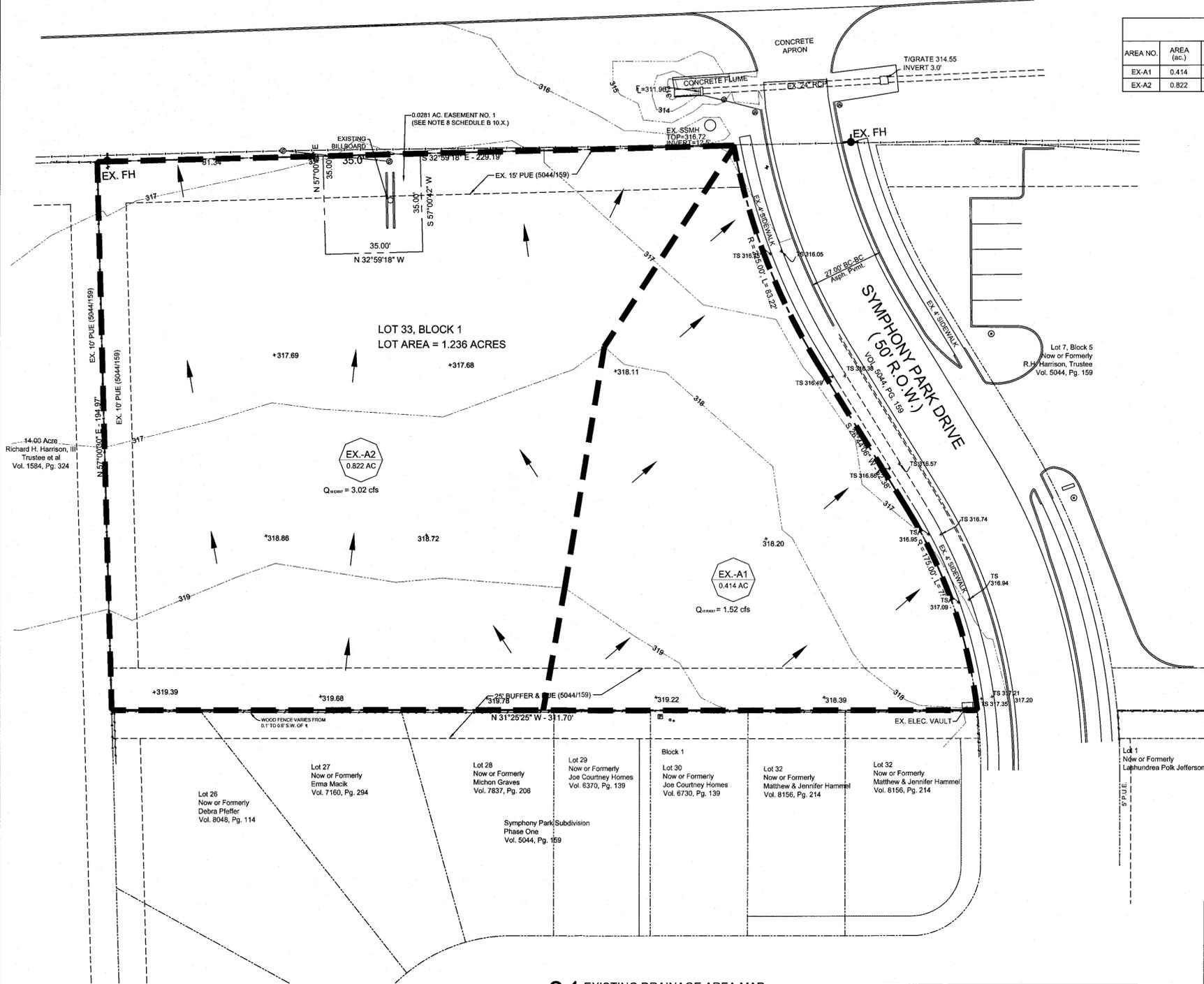
ENGINEER'S SIGNATURE/SEAL: \_\_\_\_\_  
DATE: \_\_\_\_\_  
ON THE DATE INDICATED HEREIN, I, THE ENGINEER, HAVE REVIEWED THE DRAWINGS AND FOUND THEM TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL ENGINEERING ACT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IN AN OFFENSE UNDER THE PROFESSIONAL ENGINEERING ACT.

SHEET: **C3**  
OF: 13

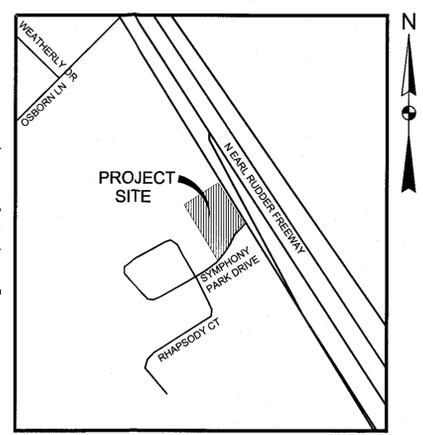
**STATE HIGHWAY NO. 6  
(EARL RUDDER FREEWAY)**  
R.O.W. WIDTH VARIES

FRONTAGE ROAD

| RUNOFF COMPUTATION (PRE-DEVELOPMENT) |            |      |                      |                     |                       |  |
|--------------------------------------|------------|------|----------------------|---------------------|-----------------------|--|
| AREA NO.                             | AREA (ac.) | C    | t <sub>c</sub> (min) | t <sub>p</sub> (hr) | Q <sub>10</sub> (cfs) | REMARKS                                    |
| EX-A1                                | 0.414      | 0.40 | 8.6                  | 9.20                | 1.52                  | SHEET FLOW ACROSS SITE TO EXISTING 24" RCP |
| EX-A2                                | 0.822      | 0.40 | 8.6                  | 9.20                | 3.02                  | SHEET FLOW ACROSS SITE TO EXISTING 24" RCP |



| LEGEND  |                             |
|---|-----------------------------|
| SANITARY SEWER MANHOLE                        | SS                          |
| STORM SEWER MANHOLE                           | MH                          |
| CLEAN OUT                                     | CO                          |
| FIRE HYDRANT                                  | FH                          |
| POWER POLE                                    | PP                          |
| TELEPHONE BOX                                 | TB                          |
| WATER METER                                   | WM                          |
| GATE VALVE                                    | GV                          |
| LIGHT POLE                                    | LP                          |
| IRRIGATION SPRINKLER HEAD LOCATION            | IS                          |
| VAN ACCESSIBLE HANDICAP PARKING SIGN LOCATION | VA                          |
| EXIST. LIGHTPOLE DRAINAGE & UTILITY EASEMENT  | DEUE                        |
| TOP OF SIDEWALK                               | TW                          |
| TOP OF CURB                                   | TC                          |
| TOP OF PAVEMENT                               | TP                          |
| EXISTING DRAINAGE AREA                        | EX. A1                      |
| AREA (ACRE)                                   | EX. A2                      |
| 10 YR STORM RUNOFF (CFS)                      | Q <sub>10</sub> = 10.59 cfs |



**GENERAL CONSTRUCTION NOTES**  
IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO NOTIFY, PROVIDE INFORMATION, AND COORDINATE WITH THE CITY/COUNTY UTILITY DEPARTMENTS AND OTHER UTILITY COMPANIES REGARDING THE LOCATION, DEPTH, SIZE AND ANY OTHER RELEVANT INFORMATION OF ALL PROPOSED ABOVE AND UNDERGROUND UTILITIES INCLUDING GAS, FIBER OPTIC, COMMUNICATION CABLES, AND THE LIKE, PRIOR TO PERFORMING ANY DIRT WORK, EDUCATION, EMBANKMENT FILL OR HOLE DRILLING RELATED TO ONSITE OR OFF SITE WORK FOR THIS PROJECT.

**OWNERSHIP AND USE OF DRAWINGS**  
THESE DRAWINGS (WHETHER PRINTED OR ELECTRONIC IN FORM, PREPARED BY THE ENGINEER, JR. EISENHOUR CONSULTING LLC, AND INSTRUMENTS OF SERVICE THROUGH WHICH THE CONTRACTOR SHALL EXECUTE THE WORK DESCRIBED HEREIN) SHALL BE THE PROPERTY OF JR. EISENHOUR CONSULTING LLC. THE CONTRACTOR SHALL NOT REPRODUCE, COPY, REPRODUCE, OR TRANSMIT THESE DRAWINGS IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF JR. EISENHOUR CONSULTING LLC. THESE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PROJECTS OR FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF JR. EISENHOUR CONSULTING LLC. OFFICIAL SUBMISSION OF THESE PLANS TO REGULATORY AGENCIES SHALL ONLY BE IN COMPLIANCE TO REGULATORY REQUIREMENTS AND SHALL NOT BE CONSIDERED AS PUBLICATION OR LOSS OF ENGINEER'S COPYRIGHT OR OTHER RESERVED RIGHTS.

**01 EXISTING DRAINAGE AREA MAP**  
SCALE: 1" = 20'-0"  
GRAPHIC SCALE  
0 10 20 40

**NOTES**  
1. THIS PROPERTY IS NOT IN A 100-YEAR FLOOD HAZARD AREA ACCORDING TO THE FLOOD INSURANCE RATE MAPS (FIRM) PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF BRYAN (MAP NO. 48041C0134C - DATED: JULY 2, 1992)

**EISENHOUR Consulting, LLC**  
1044 Montegut Court, Mesquite, TX 75150  
Cell No: 972.415.1739  
Toll-Free: 214.501.2607

---

PROJECT NAME: **EXISTING DRAINAGE AREA MAP  
PROP. 2 - STORY INDEPENDENT MOTEL**  
SYMPHONY PARK DRIVE,  
CITY OF BRYAN  
1.236 ACRES

---

OWNER/DEVELOPER: **AMR HOTELS LLC**  
420 LACEBARK DRIVE  
IRVING, TEXAS 75063  
Cell #: 214.395.9398

---

ENGINEER COMPANY: **E.M. FAGGET ENGINEERING**  
P.O. BOX 17605  
FORT WORTH, TEXAS 76102

---

|   |                     |                   |                             |
|---|---------------------|-------------------|-----------------------------|
| PROJECT STARTS:                         | FOR PERMITTING:     | FOR CONSTRUCTION: | SHEET: <b>C3a</b><br>OF: 13 |
| PROJECT MANAGER:<br>FREDERICK L. GATELA | DESIGN COORDINATOR: | DATE:             |                             |

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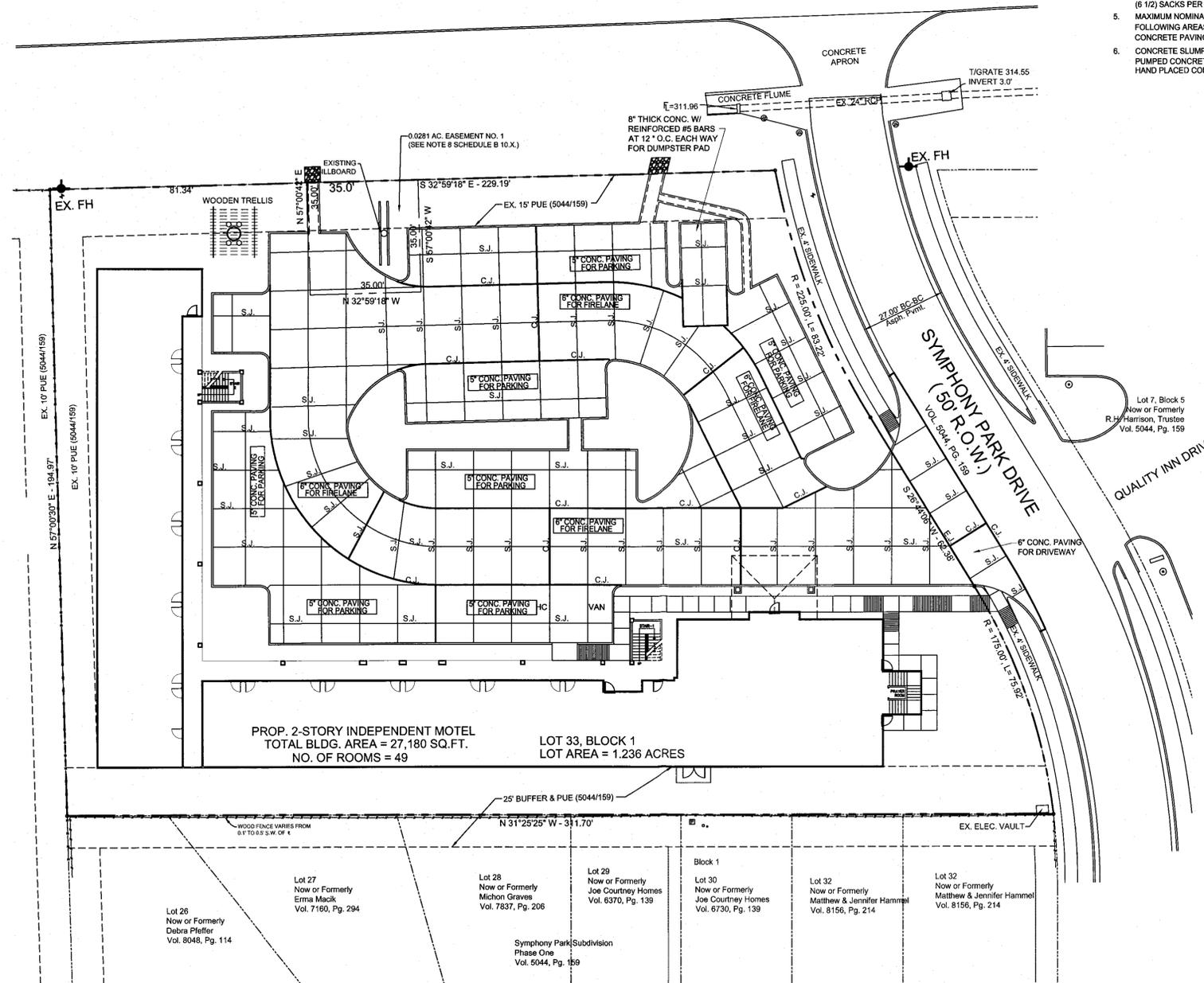
REVISION DATES: 10/21/14  
10/21/14

ON THE DATE INDICATED HEREIN, ALL INFORMATION IS BELIEVED TO BE ACCURATE AND COMPLETE. WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER OR AN ENGINEER UNDER THE TEXAS ENGINEERING ACT.

# STATE HIGHWAY NO. 6 (EARL RUDDER FREEWAY)

R.O.W. WIDTH VARIES

FRONTAGE ROAD

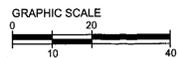


PROP. 2-STORY INDEPENDENT MOTEL  
TOTAL BLDG. AREA = 27,180 SQ.FT.  
NO. OF ROOMS = 49

LOT 33, BLOCK 1  
LOT AREA = 1.236 ACRES

## 01 PAVING AND JOINTING PLAN

SCALE: 1" = 20'-0"



PAVEMENT THICKNESS SCHEDULE FOR CONVENTIONALLY REINFORCED AND JOINTED PCC PAVEMENT IN MEDIUM-DUTY PAVEMENT AREAS - ACCESS DRIVE & CIRCULATION LANES WITHIN PARKING AREAS (BASED ON SOIL REPORT)

| THICKNESS (in) | MATERIAL DESCRIPTION                           |
|----------------|--|
| 6.0            | REINFORCED CONCRETE SURFACE COURSE             |
| 6.0            | COMPACTED CHEMICALLY STABILIZED SUBGRADE SOILS |
| 12.0           | TOTAL CONSTRUCTED PAVEMENT THICKNESS           |

| THICKNESS (in) | MATERIAL DESCRIPTION                           |
|----------------|--|
| 5.0            | REINFORCED CONCRETE SURFACE COURSE             |
| 6.0            | COMPACTED CHEMICALLY STABILIZED SUBGRADE SOILS |
| 11.0           | TOTAL CONSTRUCTED PAVEMENT THICKNESS           |

PAVEMENT THICKNESS SCHEDULE FOR CONVENTIONALLY REINFORCED AND JOINTED PCC PAVEMENT IN LIGHT-DUTY PAVEMENT AREAS - PASSENGER VEHICLE PARKING AREAS (BASED ON SOIL REPORT)

### CONCRETE PAVING NOTES

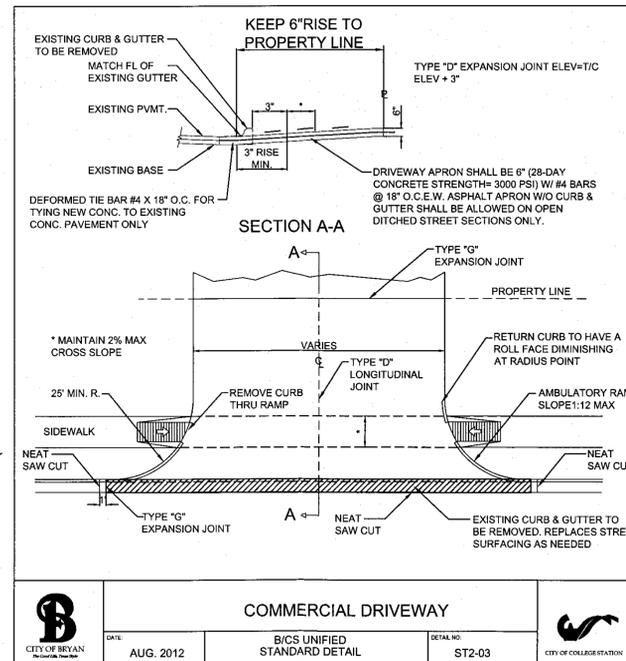
- CONCRETE PAVING SHALL CONFORM TO THE LATEST BUILDING CODE FOR REINFORCED CONCRETE OF THE AMERICAN CONCRETE INSTITUTE (A.C.I. 318). IF THE FIBERMESH CONCRETE ALTERNATE IS USED, THE CONTRACTOR SHALL ADHERE STRICTLY TO THE MANUFACTURER'S RECOMMENDATIONS AS TO TYPE AND AMOUNT.
- CONCRETE IN THE FOLLOWING AREAS SHALL HAVE SAND AND GRAVEL OR CRUSHED STONE AGGREGATES, TYPE I OR III PORTLAND CEMENT, AND THE DESIGNATED MINIMUM COMPRESSIVE STRENGTH IN 28 DAYS. NORMAL WEIGHT AGGREGATES SHALL CONFORM TO ASTM C33: CONCRETE PAVING - 4,000 PSI CONC. AT 28 DAYS MEDIUM-DUTY PAVEMENT - THE ACCESS DRIVE & THE CIRCULATION LANES WITHIN THE PARKING AREAS. LIGHT-DUTY PAVEMENT - THE PARKING AREAS
- HAND POURED CONCRETE FOR SIDEWALKS SHALL BE VIBRATED BY HAND VIBRATORS & HAVE A MIN. CEMENT CONTENT OF FIVE (5) SACKS PER CUBIC YARD.
- HAND POURED CONCRETE FOR ANY DRIVE APPROACH SHALL BE VIBRATED BY HAND VIBRATORS & HAVE A MIN. CEMENT CONTENT OF SIX & ONE HALF (6 1/2) SACKS PER CUBIC YARD.
- MAXIMUM NOMINAL COARSE AGGREGATE SIZES FOR CONCRETE IN THE FOLLOWING AREAS SHALL BE: CONCRETE PAVING = 3/4 INCHES CONCRETE SLUMPS SHALL BE AS FOLLOWS: PUMPED CONCRETE - 6 INCHES HAND PLACED CONCRETE - 4 INCHES
- CONCRETE EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED AS FOLLOWS: 3/4 INCH NOMINAL AGGREGATE SIZE 4% TO 8% 1 INCH NOMINAL AGGREGATE SIZE 3.5% TO 6.5% 1 1/2 INCH NOMINAL AGGREGATE SIZE 3% TO 6% USE OF AIR-ENTRAINMENT, AND CORRESPONDING REDUCTION OF THE WATER/CEMENT RATIO, MUST BE NOTED ON THE MIX DESIGN. CONTRACTOR SHALL SUBMIT MIX DESIGNS TO ENGINEER FOR REVIEW. NO FLY ASH IS PERMITTED IN CONCRETE.
- DRIVE APPROACH WITHIN THE CITY R.O.W. SHALL MATCH THE STREET THICKNESS.
- SLOPE OF H.C. RAMP DOWN AT OFFICE SHALL NOT EXCEED A SLOPE OF 1"12' (0.83')
- ALL CONCRETE PAVING SHALL HAVE A SUBGRADE COMPACTED TO 95% OF ASTM D698.
- FIRE LANES SHALL REMAIN OPEN/ACCESSIBLE AT ALL TIMES DURING CONSTRUCTION.
- FIRE LANES SHALL BE INSTALLED AND ACCEPTED BY THE CITY PRIOR TO ANY CONSTRUCTION ABOVE THE FOUNDATION.

### REINFORCING STEEL & FIBERMESH NOTES

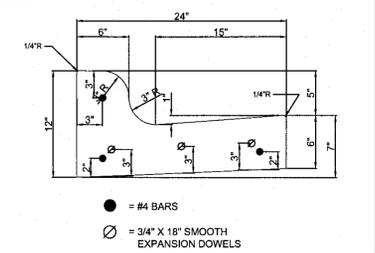
- ALL STEEL REINFORCING BARS SHALL BE NEW DOMESTIC DEFORMED BILLET STEEL CONFORMING TO ASTM A615, (#3 AND #4 = GRADE 40) (#5 AND LARGER-GRADE 60) ALL REINFORCEMENT SPECIFICALLY NOTED ON THE DRAWING AS BEING WELDED SHALL BE DOMESTIC STEEL CONFORMING TO ASTM A615, GRADE 40 OR DOMESTIC STEEL CONFORMING TO ASTM A706.
- DETAILING OF CONCRETE REINFORCEMENT AND ACCESSORIES SHALL BE IN ACCORDANCE WITH ACI 315.
- ALL REINFORCING BARS LAPS SHALL BE SPLICED A MINIMUM OF 36 BAR DIAMETERS.
- ALL REINFORCING BARS SHALL BE #4 @ 18" O.C.E.W. UNLESS OTHERWISE NOTED.
- PROTECTION COVER OF REINFORCEMENT SHALL BE AS NOTED BELOW. SEE ACI 318 FOR CONDITIONS NOT NOTED. CONCRETE PLACED AGAINST SOIL = 2 1/2 INCHES

### JOINT NOTES

- EXPANSION JOINTS AT APPROACHES SHALL BE CONSTRUCTED PER DETAIL OF CITY GENERAL DESIGN STANDARDS.
- THE CONSTRUCTION JOINT SHALL COMPLY WITH STANDARD OF CITY DETAIL.
- SAWED JOINTS AND CONSTRUCTION JOINTS SHALL BE AS INDICATED ON PLAN AND PER DETAIL.
- SAW CUT CONCRETE AS SOON AS CONCRETE HAS HARDENED SUFFICIENTLY TO PREVENT SPALLING, AND STRESS CRACKING, BUT WITHIN 12 HOURS OF CONCRETE PLACEMENT.

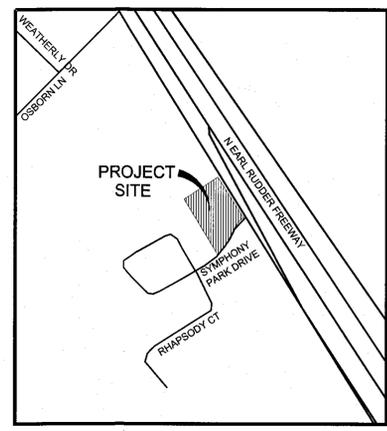


NOTE: TYPE 'G' EXPANSION JOINTS IN CURB & GUTTER SHALL BE SPACED AT A MAX. DISTANCE OF 40' APART & AT ALL RADIUS POINTS, P.T.'S AND P.C.'S. TYPE 'D' CONSTRUCTION JOINTS IN CURB & GUTTER SHALL BE SPACED AT A MAX. DIST. OF 10' APART.



TYPICAL COMBINED CURB & GUTTER SECTION  
DATE: AUG. 2012  
B/C'S UNIFIED STANDARD DETAIL  
DETAIL NO: ST1-01  
CITY OF COLLEGE STATION

| LEGEND                             |        |                                   |
|------------------------------------|--------|-----------------------------------|
| SANITARY SEWER MANHOLE             | SS     | EXISTING CONTOURS                 |
| STORM SEWER MANHOLE                | SM     | PROPOSED CONTOURS                 |
| CLEAN OUT                          | CO     | PROPOSED CONTOURS                 |
| FIRE HYDRANT                       | FH     | PROPOSED CONTOURS                 |
| POWER POLE                         | PP     | EXISTING SANITARY SEWER PIPE      |
| TELEPHONE BOX                      | TB     | PROPOSED SANITARY SEWER PIPE      |
| WATER METER                        | WM     | EXISTING WATER LINE               |
| GATE VALVE                         | GV     | EXISTING WATER LINE               |
| LIGHT POLE                         | LP     | PROPOSED POWER LINE               |
| IRRIGATION SPRINKLER HEAD LOCATION | IS     | EXISTING POWER LINE               |
| VAN ACCESSIBLE HANDICAP PARKING    | HA     | PROPOSED TELEPHONE LINE           |
| SIGN LOCATION                      | SL     | EXISTING TELEPHONE LINE           |
| RIGHT OF WAY                       | R.O.W. | PROPOSED GAS LINE                 |
| EXIST. LIGHTPOLE                   | ELP    | EXISTING GAS LINE                 |
| DRAINAGE & UTILITY EASEMENT        | DE/UE  | PROPOSED GUY WIRE                 |
| GAS METER                          | GM     | EXISTING GUY WIRE                 |
| EXIST. WATER VALVE                 | EWV    | EXISTING OVERHEAD ELECTRICAL LINE |
| CONSTRUCTION JOINT                 | C.J.   |                                   |
| EXPANSION JOINT                    | E.J.   |                                   |
| SAW JOINT                          | S.J.   |                                   |



VICINITY MAP SCALE: NONE

### GENERAL CONSTRUCTION NOTES

IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO NOTIFY, PROVIDE INFORMATION, AND COOPERATE WITH THE CITY/COUNTY UTILITY DEPARTMENTS AND OTHER UTILITY COMPANIES REGARDING THE LOCATION, DEPTH, SIZE AND ANY OTHER INFORMATION OF ALL PROPOSED ABOVE AND UNDERGROUND UTILITIES INCLUDING GAS, FIBER OPTIC, COMMUNICATION CABLES, AND THE LIKE, PRIOR TO PERFORMING ANY OTHER WORK. EDUCATION, EMPOWERMENT, AND HOLE DRILLING RELATED TO ONSITE OR OFF SITE WORK FOR THIS PROJECT.

OWNERSHIP AND USE OF DRAWINGS  
THESE DRAWINGS WERE PRINTED ON ELECTRONIC FORM, PREPARED BY THE ENGINEER, JR. EISENHOUR CONSULTING, LLC. ALL INSTRUMENTS OF SERVICE THROUGH WHICH THE CONTRACTOR SHALL EXECUTE THE WORK DESCRIBED HEREIN ONLY THE ENGINEER SHALL OWN CLEAR AND UNDISPUTED COPYRIGHT OR OTHER RESERVED RIGHTS IN THESE DRAWINGS UNLESS OTHERWISE AGREED TO OR PERMITTED IN WRITING BY THE ENGINEER. THESE DRAWINGS SHALL NOT BE COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER. THESE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER. THESE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER. THESE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.

1044 Montague Court  
Mesquite, TX 75150  
Cell No. 972.413.1730  
T986N 214.502.2097

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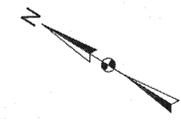
PROJECT NAME: PAVING AND JOINTING PLAN  
PROP. 2 - STORY INDEPENDENT MOTEL  
SYMPHONY PARK DRIVE,  
CITY OF BRYAN  
1.236 ACRES

OWNER/DEVELOPER: AMR HOTELS LLC  
420 LACEBARK DRIVE  
IRVING, TEXAS 75063  
Cell #: 214.395.9398

ENGINEER COMPANY: E.M. FAGGET ENGINEERING  
P.O. BOX 17605  
FORT WORTH, TEXAS 76102

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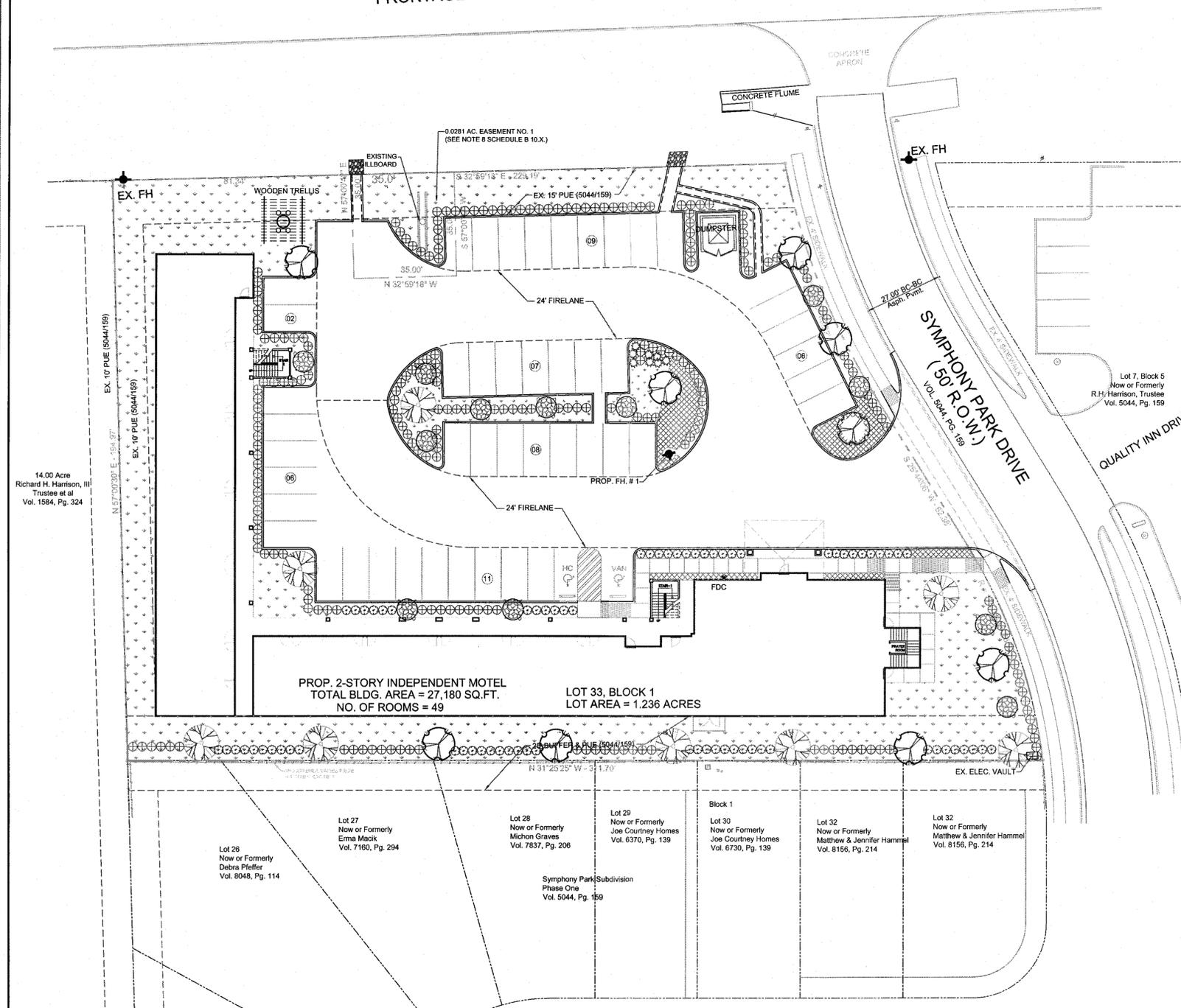
|                     |                     |  |        |
|---------------------|---------------------|--|--------|
| PROJECT STATUS:     | FOR PERMITTING      | ENGINEER'S SIGNATURE/SEAL:   | SHEET: |
| PROJECT ADVISOR:    | FREDERICK L. GATELA | DATE:  | C4     |
| DESIGN COORDINATOR: |                     | ON THE DATE INDICATED HEREIN, I HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS AND THAT I AM THE RESPONSIBLE ENGINEER FOR THE WORK SHOWN ON THESE DRAWINGS. | OF: 13 |
| REVISION DATE:      | 10/21/14            |  |        |
| PROJECT NUMBER:     | 10/21/14            |  |        |
| DRAWING BY:         |                     |  |        |



STATE HIGHWAY NO. 6  
(EARL RUDDER FREEWAY)  
R.O.W. WIDTH VARIES

FRONTAGE ROAD

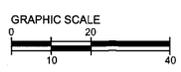
EXIT RAMP



PROP. 2-STORY INDEPENDENT MOTEL  
TOTAL BLDG. AREA = 27,180 SQ.FT.  
NO. OF ROOMS = 49

LOT 33, BLOCK 1  
LOT AREA = 1.236 ACRES

01 LANDSCAPE PLAN  
SCALE: 1" = 20'-0"



14.00 Acre  
Richard H. Harrison, III  
Trustee et al  
Vol. 1584, Pg. 324

Lot 26  
Now or Formerly  
Debra Pfeiffer  
Vol. 8048, Pg. 114

Lot 27  
Now or Formerly  
Ernie Mack  
Vol. 7160, Pg. 294

Lot 28  
Now or Formerly  
Michon Graves  
Vol. 7837, Pg. 206

Lot 29  
Now or Formerly  
Joe Courtney Homes  
Vol. 6370, Pg. 139

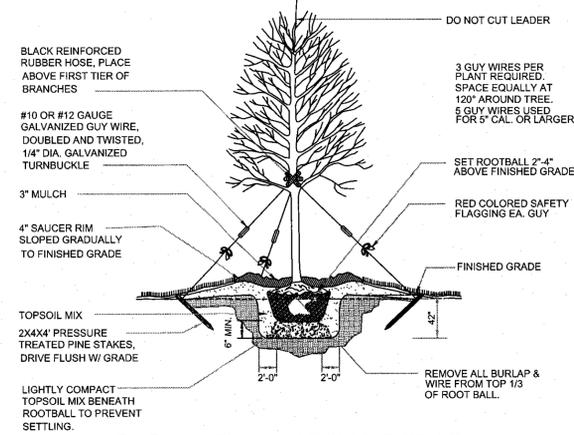
Block 1  
Lot 30  
Now or Formerly  
Joe Courtney Homes  
Vol. 6730, Pg. 139

Lot 32  
Now or Formerly  
Matthew & Jennifer Hammett  
Vol. 8156, Pg. 214

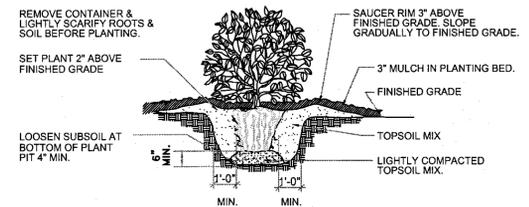
Lot 32  
Now or Formerly  
Matthew & Jennifer Hammett  
Vol. 8156, Pg. 214

Lot 1  
Now or Formerly  
Lashundra Polk Jefferson

Symphony Park Subdivision  
Phase One  
Vol. 5044, Pg. 159



02 TREE PLANTING DETAIL  
SCALE: NONE



03 SHRUB PLANTING DETAIL  
SCALE: NONE

GENERAL LANDSCAPE NOTES

- ALL PLANT MATERIALS SHALL CONFORM TO THE STANDARDS OF THE APPROVED PLANT LIST FOR THE CITY OF BRYAN, TEXAS.
- AS UNDERGROUND AUTOMATIC LANDSCAPE IRRIGATION SYSTEM SHALL BE INSTALLED TO WATER ALL LANDSCAPE AREAS, INCLUDING RIGHT-OF-WAY AREAS, UNLESS NOTED OTHERWISE.
- ADDITIONAL PLANT MATERIAL MAY BE INSTALLED ON SITE AT OWNER'S DIRECTION AND ACCORDING TO CITY REQUIREMENTS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED BY OWNER IN A HEALTHY AND GOING CONDITION, AND REPLACED WITH PLANT MATERIAL OF SIMILAR SIZE AND VARIETY IF DAMAGED, DESTROYED, OR REMOVED.
- LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS.
- ALL LANDSCAPE AREAS SHALL BE CONSTRUCTED, INSTALLED AND MAINTAINED SO AS NOT TO OBSTRUCT VIEW OF MOTORIST BETWEEN THE STREET AND ACCESS DRIVE. VISIBILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AT ALL TIMES.
- ALL PERMEABLE SURFACES NOT OCCUPIED BY TREES, SHRUBS, PLANTING BEDS OR OTHER PERMITTED ITEMS OR FIXTURES SHALL BE BERM A DEGREE'S LAWN AREAS UNLESS OTHERWISE NOTED.
- ALL TREES TO BE INSTALLED OUTSIDE FIRE HYDRANT, SANITARY SEWER, AND UTILITY EASEMENTS.
- REFERENCE ENGINEERING PLANS FOR PROPOSED GRADES.

TREE NOTES:

- AT THE TIME OF PLANTING, TREES SHALL BE A MINIMUM OF THREE INCHES CALIPER, MEASURED 12" ABOVE GROUND AND A MINIMUM OF SEVEN FEET IN HEIGHT.
- APPLY THREE INCHES (3") LAYER OF MULCH ON TOP OF ROOT BALL AFTER PLANTING. KEEP MULCH NINE INCHES (9") FROM BASE OF THE TRUNK.
- PRUNE EACH TREE TO CORRECT STRUCTURAL DEFECTS AND REMOVE BROKEN BRANCHES CAUSED DURING TRANSPORT AND PLANTING.
- EVERY OCTOBER APPLY TWO AND A HALF (2 1/2 LB.) POUNDS OF 10-10-10 FERTILIZER PER TEN SQUARE FEET OF AREA BENEATH EACH TREE.

City of Bryan:  
LANDSCAPING POINT CALCULATIONS:

| SYMBOL | SIZE                               | NAME & TYPE  | QUANTITY | POINT VALUE | POINT |
|--------|------------------------------------|--|----------|-------------|-------|
|        | 2.1" TO 3.5" CALIPER W/O BARRICADE | LIVE OAK TREE (Quercus Virginiana) Canopy Tree           | 08       | 150         | 1,200 |
|        | 2.1" TO 3.5" CALIPER W/O BARRICADE | CEDAR ELM (Ulmus Crassifolia) Canopy Tree                | 09       | 150         | 1,200 |
|        | 1.25" CALIPER AND LARGER           | TREE CREPE MYRTLE (Lagerstroemia indica) Non-Canopy Tree | 13       | 40          | 520   |
|        | 5 GALLON                           | WAX LEAF LIGUSTRUM (Ligustrum texanum) Shrub             | 229      | 10          | 2,290 |
|        | 5 GALLON                           | YAUPON (Ilex vomitoria "nana") Shrub                     | 72       | 10          | 720   |
|        |                                    | SEASONAL PLANT   |          |             |       |
|        |                                    | 4" GRASS   |          |             |       |
|        |                                    | SEASONAL COLOR BED                                       |          |             |       |

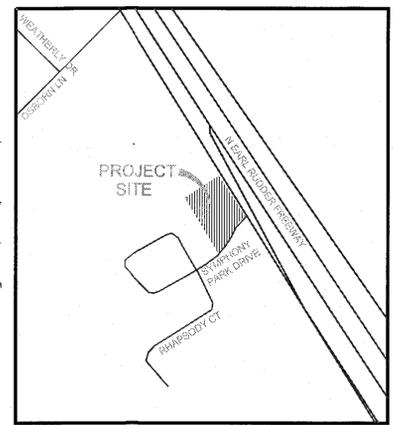
STREETSCAPE:  
(182.08' / 50) X 300 PTS = 1,093 PTS  
(182.08' / 32) = 6 CANOPY TREES

POINTS PER PROJECT AREA:  
53,840.16 SQUARE FEET OF SITE AREA  
53,840.16 / 1000 = 53.84  
53.84 X 30 = 1,615.2 = 1,615.2 X 2 = 3,230.4 POINTS

TOTAL POINTS REQUIRED: 4,323.4      TOTAL POINTS PROPOSED: 6,080

LOT AREA: 53,840.16 S.F.

OPEN SPACE: 8,076.02 S.F. (15% OF SITE)  
17,355.68 S.F. (32.24% OF SITE)



VICINITY MAP      SCALE: NONE

GENERAL CONSTRUCTION NOTES

IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER OF ANY CHANGES TO THE ORIGINAL SCOPE OF WORK WITHOUT THE SPECIFIED WRITTEN CONSENT OF THE ENGINEER. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CHANGES TO THE ORIGINAL SCOPE OF WORK WITHOUT THE SPECIFIED WRITTEN CONSENT OF THE ENGINEER.

OWNERSHIP AND USE OF DRAWINGS

THESE DRAWINGS ARE THE PROPERTY OF E.M. FAGGET ENGINEERING, P.C. AND SHALL REMAIN THE PROPERTY OF E.M. FAGGET ENGINEERING, P.C. UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL NOT REPRODUCE, COPY, OR TRANSMIT THESE DRAWINGS IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF E.M. FAGGET ENGINEERING, P.C. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY CHANGES TO THE ORIGINAL SCOPE OF WORK WITHOUT THE SPECIFIED WRITTEN CONSENT OF THE ENGINEER.

**EISENHOUR**  
Consulting, LLC  
1044 Mossblume Court  
Mesquite, TX 75150  
Cell No: 972.415.1730  
Fax: 214.561.2997

PROJECT NAME: **LANDSCAPE PLAN**  
**PROP. 2 - STORY INDEPENDENT MOTEL**  
SYMPHONY PARK DRIVE,  
CITY OF BRYAN  
1.236 ACRES

OWNER/DEVELOPER:  
**AMR HOTELS LLC**  
420 LACEBARK DRIVE  
IRVING, TEXAS 75063  
Cell #: 214.395.9398

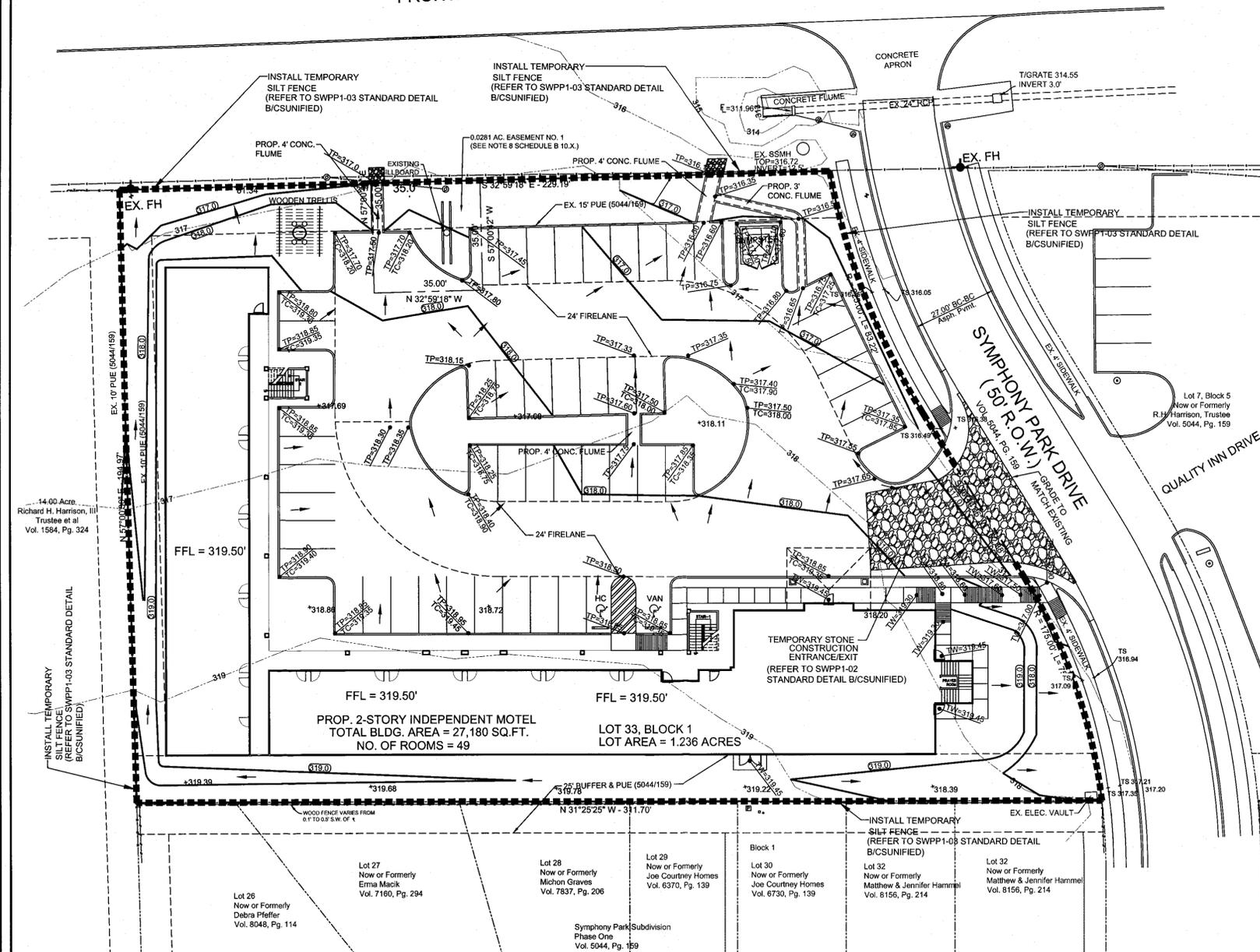
ENGINEER COMPANY:  
**E.M. FAGGET ENGINEERING**  
P.O. BOX 17605  
FORT WORTH, TEXAS 76102

|   |  |                     |
|---|--|---------------------|
| PROJECT STATUS:<br>FOR PERMITTING       | ENGINEER'S STATUS/SEAL:  | SHEET:<br><b>C5</b> |
| PROJECT MANAGER:<br>FREDERICK L. GATELA | DATE:<br>10/21/14  |                     |
| DESIGN COORDINATOR:                     | DATE:<br>10/21/14  | OF: 13              |
| REVISION DATE: 10/21/14                 | ON THE DATE INDICATED HEREIN, I HEREBY CERTIFY THAT I AM THE RESPONSIBLE ENGINEER IN CHARGE OF THE DESIGN OF THE PROJECT AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE TEXAS ENGINEERING ACT. |                     |
| PROJECT DATE: 10/21/14                  |  |                     |
| DRAWING BY:                             |  |                     |

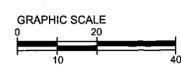
**STATE HIGHWAY NO. 6  
(EARL RUDDER FREEWAY)**  
R.O.W. WIDTH VARIES

FRONTAGE ROAD

EXIT RAMP

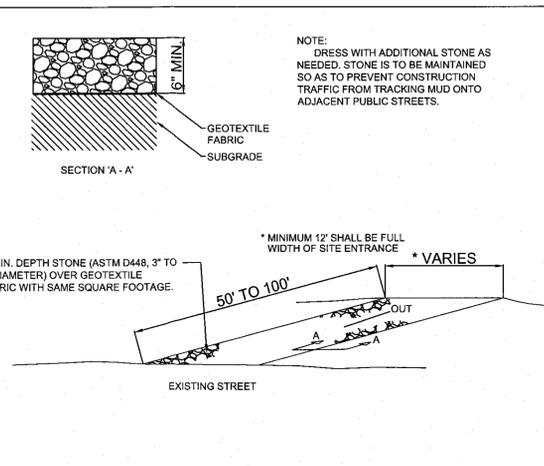


**01 EROSION CONTROL PLAN**  
SCALE: 1" = 20'-0"

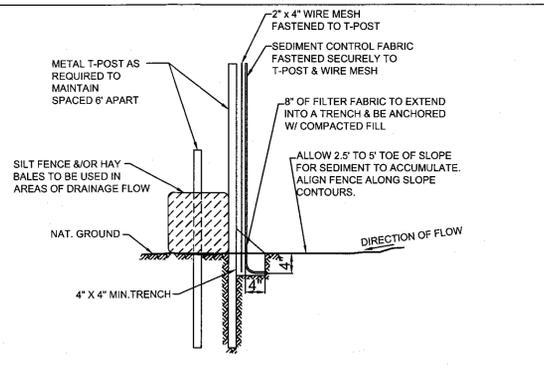


- STANDARD GENERAL NOTES**
1. EROSION CONTROL DEVICES AS SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBING ACTIVITIES ON THE PROJECT.
  2. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER AND THE CITY OF BRYAN ENGINEERING DIVISION.
  3. IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT THE EROSION CONTROL PLAN WILL BE REQUIRED TO BE REVISED AND OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE.
  4. IF OFF-SITE SOIL BORROW OR SPOIL SITES ARE USED IN CONJUNCTION WITH THIS PROJECT, THIS INFORMATION SHALL BE DISCLOSED AND SHOWN ON THE EROSION CONTROL PLAN. OFF-SITE BORROW AND SPOIL AREAS ARE CONSIDERED A PART OF THE PROJECT SITE AND THEREFORE SHALL COMPLY WITH THE CITY OF BRYAN EROSION CONTROL REQUIREMENTS. THESE AREAS SHALL BE STABILIZED WITH PERMANENT GROUND COVER PRIOR TO FINAL APPROVAL OF THE PROJECT.

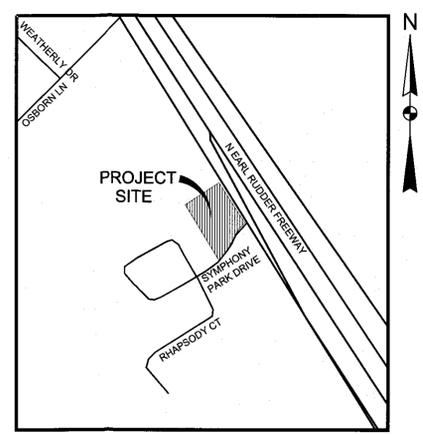
| LEGEND                      |      |                   |     |
|-----------------------------|------|-------------------|-----|
| SANITARY SEWER MANHOLE      | SS   | EXISTING CONTOURS | --- |
| STORM SEWER MANHOLE         | MH   | PROPOSED CONTOURS | --- |
| CLEAN OUT                   | CO   | PROPOSED          | --- |
| FIRE HYDRANT                | FH   | PROPOSED          | --- |
| POWER POLE                  | PP   | EXISTING          | --- |
| TELEPHONE BOX               | TB   | PROPOSED          | --- |
| WATER METER                 | WM   | EXISTING          | --- |
| GATE VALVE                  | GV   | EXISTING          | --- |
| LIGHT POLE                  | LP   | PROPOSED          | --- |
| RIGHT OF WAY                | ROW  | EXISTING          | --- |
| EXIST LIGHT POLE            | ELP  | EXISTING          | --- |
| DRAINAGE & UTILITY EASEMENT | DEUE | POWER LINE        | --- |
| TOP OF SIDEWALK             | TSW  | PROPOSED          | --- |
| TOP OF CURB                 | TC   | EXISTING          | --- |
| TOP OF PAVEMENT             | TP   | EXISTING          | --- |



| CONSTRUCTION EXIT SPLIT CONTROL |           |                               |                     |
|---------------------------------|-----------|-------------------------------|---------------------|
| DATE:                           | AUG. 2012 | B/C'S UNIFIED STANDARD DETAIL | DETAIL NO: SWPP1-02 |



| SILT FENCE ASSEMBLY |           |                               |                     |
|---------------------|-----------|-------------------------------|---------------------|
| DATE:               | AUG. 2012 | B/C'S UNIFIED STANDARD DETAIL | DETAIL NO: SWPP1-03 |



VICINITY MAP SCALE: NONE

**GENERAL CONSTRUCTION NOTES**

IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO NOTIFY, PROVIDE INFORMATION, AND COORDINATE WITH THE CITY/UTILITY DEPARTMENTS AND OTHER UTILITY COMPANIES REGARDING THE LOCATION, DEPTH, SIZE, AND ANY OTHER INFORMATION OF ALL PROPOSED ABOVE AND UNDERGROUND UTILITIES INCLUDING GAS, FIBER OPTIC, COMMUNICATION CABLES, AND THE LIKE, PRIOR TO PERFORMING ANY CUT, WORK, EXCAVATION, EMBANKMENT FILL OR HOLE DRILLING RELATED TO ON-SITE OR OFF-SITE WORK FOR THIS PROJECT.

**OWNERSHIP AND USE OF DRAWINGS**

THESE DRAWINGS WERE PREPARED BY THE ENGINEER, JREISENHOUR CONSULTING, LLC, AND ARE THE PROPERTY OF THE ENGINEER. THE CONTRACTOR SHALL MAINTAIN THE ORIGINAL SET OF DRAWINGS AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE SAME. THE CONTRACTOR SHALL NOT REPRODUCE OR TRANSMIT THESE DRAWINGS IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. THESE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

OFFICIAL SUBMISSION OF THESE PLANS TO REGULATORY AGENCIES SHALL ONLY MEAN COMPLIANCE TO REGULATORY REQUIREMENTS AND SHALL NOT BE CONSIDERED A PUBLICATION OR LOSS OF ENGINEER'S COPYRIGHTS OR OTHER RESERVED RIGHTS.

**PRINCIPLES OF EROSION AND SEDIMENTATION**

**3.1 GENERAL**

THE MOST EFFECTIVE MEANS OF REDUCING THE SOIL LOST FROM PROPERTY IS TO PREVENT THE EROSION OF THE SOIL. STRUCTURAL BARRIERS CAN PROVIDE 70% TO 90% SEDIMENT REMOVAL EFFICIENCIES FROM RUNOFF, BUT A NATURAL GROUND COVER AND MULCHING CAN PROVIDE 90% TO 98% REDUCTION IN EROSION AND SOIL LOSS.

**3.2 EROSION PROCESS**

EROSION IS A NATURAL PROCESS BY WHICH SOIL AND ROCK IS LOOSENED AND REMOVED BY THE ACTION OF WATER OR WIND. THE PRIMARY FOCUS OF THIS MANUAL IS THE CONTROL OF EROSION AND SEDIMENTATION CAUSED BY SURFACE WATER RUNOFF. CONSTRUCTION-SITE EROSION HAS BEEN SHOWN TO BE IN MOST CASES, THE MOST EXCESSIVE FORM OF EROSION KNOWN CAUSING SERIOUS AND COSTLY PROBLEMS, BOTH ON-SITE AND OFF-SITE. RUNOFF, WATER MOVING OVER THE SOIL SURFACE, IS CAUSED BY RAIN WATER FALLING AT A FASTER RATE THAN IT CAN BE ABSORBED BY THE SOIL. THE RUNOFF WATER DETACHES AND TRANSPORTS SOIL PARTICLES FROM ONE LOCATION TO ANOTHER. THE EROSION OF FLOWING WATER DEPENDS UPON ITS VELOCITY, TURBULENCE, PLUS THE AMOUNT AND TYPE OF ABRASIVE MATERIAL IT TRANSPORTS. THE HIGHER THE VELOCITY OF RUNOFF, THE HIGHER THE NUMBER OF SOIL PARTICLES THAT CAN BE TRANSPORTED. THE POTENTIAL FOR AN AREA TO ERODE IS RELATED TO FOUR FACTORS: SOIL TYPE, SURFACE COVER, TOPOGRAPHY AND CLIMATE. THE SOIL TYPE HAS A DIRECT IMPACT ON THE ERODIBILITY OF THE SOIL. KEY FACTORS THAT AFFECT THE ERODIBILITY OF A TYPE SOIL ARE THE SOIL TEXTURE, THE ORGANIC MATTER CONTENT, THE TYPE OF SOIL STRUCTURE, AND THE PERMEABILITY OF THE SOIL. SURFACE COVER PRIMARILY IN THE FORM OF VEGETATION, SHIELDS THE SOIL SURFACE FROM THE IMPACT OF FALLING RAIN, REDUCES RUNOFF VELOCITY AND SPREADS OUT THE FLOW OF WATER. TOPOGRAPHIC FEATURES SUCH AS THE SIZE OF DRAINAGE BASINS AND THE STEEPNESS OF SLOPES DIRECTLY AFFECT RUNOFF RATES AND VOLUMES. CLIMATE, PARTICULARLY THE FREQUENCY, INTENSITY, AND DURATION OF RAINFALL ARE PRIMARY FACTORS THAT DETERMINE THE AMOUNT OF RUNOFF PRODUCED.

**3.3 EROSION CONTROL**

EFFECTIVE EROSION CONTROL ADDRESSES THE PREVENTION OF SOIL EROSION BY PROTECTING THE SOIL SURFACE FROM EROSION FORCES OF RAIN AND RUNOFF. PREVENTION OF EROSION IS ALWAYS BETTER THAN REMEDIAL MEASURES AND SHOULD RECEIVE PRIORITY IN ANY EROSION AND SEDIMENTATION CONTROL PLAN. SOIL EROSION CANNOT BE COMPLETELY PREVENTED, AS SOME NATURAL EROSION OCCURS ON THE LANDSCAPE UNDER IDEAL CONDITIONS. THE IDEA IS TO PREVENT ACCELERATED EROSION TO THE EXTENT PRACTICABLE. THE FOLLOWING PRACTICES CAN BE USED TO PREVENT EROSION:

- PLAN THE DEVELOPMENT TO FIT THE SITE TOPOGRAPHY (AVOID HIGHLY ERODIBLE AREAS).
- MINIMIZE THE DURATION AND SIZE OF AREA EXPOSED WITHOUT GROUND COVER.
- PROTECT EXPOSED GROUND AREAS FROM OFF-SITE RUNOFF.
- STABILIZE EXPOSED GROUND AREAS AS SOON AS POSSIBLE.
- REDUCE RUNOFF VELOCITIES WHENEVER POSSIBLE.
- PROTECT STEEP SLOPES FROM EXCESSIVE RUNOFF.

PROJECT PHASING, PARTICULARLY ON LARGE PROJECTS, CAN BE CRITICAL TO SUCCESSFUL EROSION CONTROL. THE MINIMIZING OF DISTURBED LAND AREA.

**3.4 SEDIMENTATION PROCESS**

SEDIMENTATION IS THE DEPOSITION OF SOIL PARTICLES THAT HAVE BEEN TRANSPORTED BY RUNOFF. THE AMOUNT AND SIZE OF THE MATERIAL THAT BE TRANSPORTED INCREASES WITH THE VELOCITY OF THE RUNOFF. SEDIMENTATION OCCURS WHEN THE RUNOFF SLOWS DOWN ENOUGH AND FOR LONG ENOUGH PERIOD OF TIME TO ALLOW THE SUSPENDED SOIL TO SETTLE. GRAVEL AND SAND PARTICLES ARE USUALLY NOT TRANSPORTED VERY FAR BY RUNNING WATER AND ARE DEPOSITED WHEN THE WATER FIRST SLOWS DOWN. CONVERSELY, SOME VERY SMALL CLAY PARTICLES MAY NOT SETTLE OUT EVEN WHEN THE WATER STOPS MOVING. THIS IS BECAUSE THE PARTICLES ARE HELD IN SUSPENSION.

**3.5 SEDIMENTATION CONTROL**

SEDIMENTATION CONTROL IS A REMEDIAL MEASURE THAT INVOLVE TRAPPING SEDIMENT AS RUNOFF LEAVES THE LAND DURING STORM EVENTS. MOST SEDIMENTATION CONTROL IS ACHIEVED THROUGH THE USE OF STRUCTURAL CONTROLS, SOMETIMES REFERRED TO AS BEST MANAGEMENT PRACTICES (BMPs). EFFECTIVE SEDIMENTATION CONTROL REQUIRES THAT THE MAJORITY OF THE ERODED SOIL BE CAPTURED ON-SITE. CHAPTER 5 OF THIS MANUAL PROVIDES THE USER WITH AN INVENTORY OF BMPs THAT WHEN PROPERLY USED, INSTALLED AND MAINTAINED WILL EFFECTIVELY CONTROL TO SEDIMENTATION FROM A CONSTRUCTION SITE. BMPs ARE GENERALLY APPLICABLE TO A SPECIFIC SITE SITUATION AND THE EROSION CONTROL PLAN FOR A SITE SHOWS THE CORRECT BMP TO CONTROL OFF-SITE SEDIMENTATION.

1044 Monaghan Court  
Mesquite, TX 75150  
Cell: 972.311.1733  
1-866-214-5097

---

PROJECT NAME: **EROSION CONTROL PLAN  
PROP. 2 - STORY INDEPENDENT MOTEL**  
SYMPHONY PARK DRIVE,  
CITY OF BRYAN  
1.238 ACRES

OWNER/DEVELOPER: **AMR HOTELS LLC**  
420 LACEBARK DRIVE  
IRVING, TEXAS 75063  
Cell #: 214.395.9388

DESIGNER COMPANY: **E.M. FAGGET ENGINEERING**  
P.O. BOX 17605  
FORT WORTH, TEXAS 76102

---

FOR PERMITTING: **FREDERICK L. GATELA**

DESIGN DATE: 10/21/14

DATE: 10/21/14

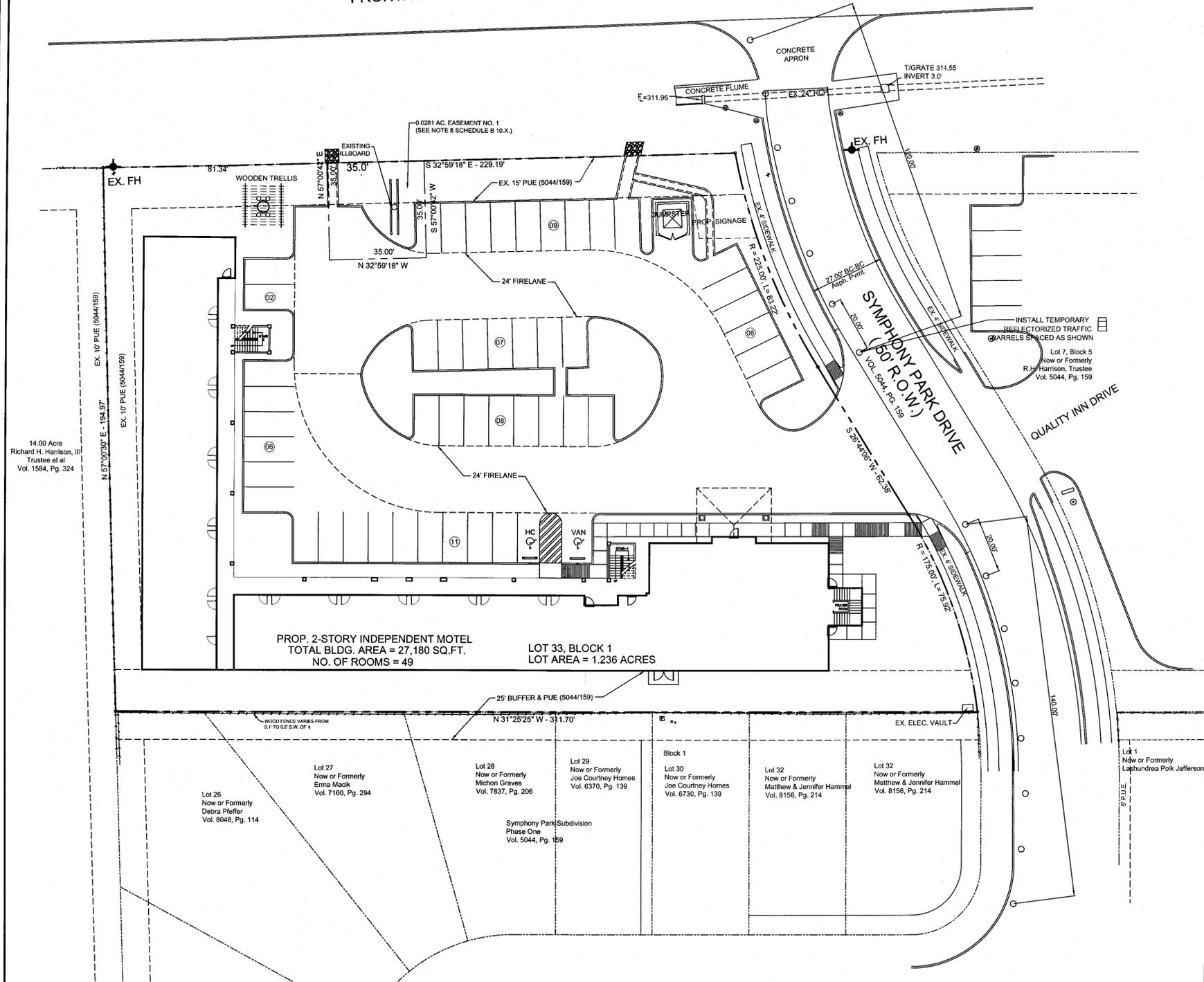
ON THE DATE INDICATED HEREIN, I, THE ENGINEER, HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS AND THAT I AM THE RESPONSIBLE ENGINEER FOR THE DESIGN OF THE PROJECT DESCRIBED HEREIN.

SHEET: **C6**  
OF: 13

STATE HIGHWAY NO. 6  
(EARL RUDDER FREEWAY)  
R.O.W. WIDTH VARIES

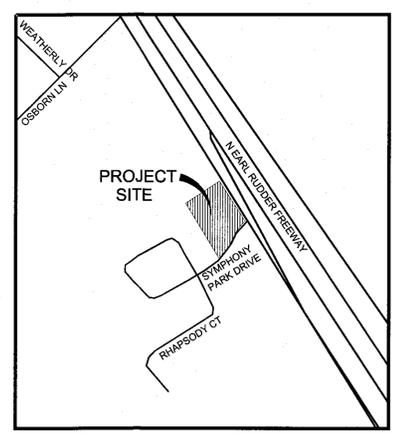
FRONTAGE ROAD

- TRAFFIC CONTROL NOTES:**
1. THE CONTRACTOR SHALL PLACE ALL SIGNS AND OTHER TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE BARRICADE AND CONSTRUCTION STANDARDS BC(1)-9 THROUGH BC(9)-92 OF THE TEXAS DEPT. OF TRANSPORTATION.
  2. LOCATIONS OF SIGNS AND TRAFFIC CONTROL DEVICES AS SHOWN ARE APPROXIMATE AND MAY BE ADJUSTED AS DIRECTED BY THE ENGINEER TO FIT THE CONDITIONS OF THE WORK.
  3. THE ENGINEER MAY DIRECT THE CONTRACTOR TO PLACE ADDITIONAL SIGNS AND TRAFFIC CONTROL DEVICES AS NECESSARY TO FIT THE CONDITIONS OF THE WORK. NO ADDITIONAL PAYMENT SHALL BE MADE FOR THESE CHANGES.
  4. THE CONTRACTOR SHALL CLEAN AND MAINTAIN ALL SIGNS AND WARNING DEVICES THROUGHOUT CONSTRUCTION AND SHALL REPLACE ANY THAT BECOME DAMAGED OR UNSERVICEABLE AT NO ADDITIONAL COST.



**LEGEND**

|                               |        |          |                              |
|-------------------------------|--------|----------|------------------------------|
| SANITARY SEWER MANHOLE        | SS     | — 1.50 — | EXISTING CONTOURS            |
| STORM SEWER MANHOLE           | MH     | — 1.50 — | PROPOSED CONTOURS            |
| CLEAN OUT                     | CO     | — 1.50 — | PROPOSED SANITARY SEWER PIPE |
| FIRE HYDRANT                  | FH     | — 1.50 — | EXISTING SANITARY SEWER PIPE |
| POWER POLE                    | PP     | — 1.50 — | PROPOSED WATER LINE          |
| TELEPHONE BOX                 | TB     | — 1.50 — | EXISTING WATER LINE          |
| WATER METER                   | WM     | — 1.50 — | PROPOSED POWER LINE          |
| GATE VALVE                    | GV     | — 1.50 — | EXISTING POWER LINE          |
| LIGHT POLE                    | LP     | — 1.50 — | PROPOSED TELEPHONE LINE      |
| RIGHT OF WAY                  | R.O.W. | — 1.50 — | EXISTING TELEPHONE LINE      |
| EXIST. LIGHTPOLE              | ELP    | — 1.50 — | PROPOSED GAS LINE            |
| DRAINAGE & UTILITY GAGE/VALVE | DU     | — 1.50 — | EXISTING GAS LINE            |
| TOP OF SIDEWALK               | TSW    | — 1.50 — |                              |
| TOP OF CURB                   | TC     | — 1.50 — |                              |
| TOP OF PAVEMENT               | TP     | — 1.50 — |                              |

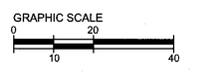


PROP. 2-STORY INDEPENDENT MOTEL  
TOTAL BLDG. AREA = 27,180 SQ.FT.  
NO. OF ROOMS = 49

LOT 33, BLOCK 1  
LOT AREA = 1.236 ACRES

- Lot 26 Now or Formerly Debra Pfeffer Vol. 8048, Pg. 114
- Lot 27 Now or Formerly Erna Mack Vol. 7160, Pg. 294
- Lot 28 Now or Formerly Michon Graves Vol. 7837, Pg. 206
- Lot 29 Now or Formerly Joe Courtney Homes Vol. 6370, Pg. 139
- Block 1 Now or Formerly Joe Courtney Homes Vol. 6730, Pg. 139
- Lot 30 Now or Formerly Matthew & Jennifer Hammel Vol. 8156, Pg. 214
- Lot 31 Now or Formerly Matthew & Jennifer Hammel Vol. 8156, Pg. 214
- Lot 32 Now or Formerly Matthew & Jennifer Hammel Vol. 8156, Pg. 214
- Lot 1 Now or Formerly Laphundrea Polk Jefferson

**01 TRAFFIC CONTROL PLAN**  
SCALE: 1" = 20'-0"



**GENERAL CONSTRUCTION NOTES**

IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO NOTIFY, PROVIDE INFORMATION, AND COOPERATE WITH THE CITY/COUNTY UTILITY DEPARTMENTS AND OTHER UTILITY COMPANIES REGARDING THE LOCATION, DEPTHS AND ANY RELEVANT INFORMATION OF ALL PROPOSED ABOVE AND UNDERGROUND UTILITIES INCLUDING GAS, FIBER OPTIC, COMMUNICATION CABLES, AND THE LIKE PRIOR TO PERFORMING ANY CUT, WORK, EXCAVATION, EMBANKMENT FILL OR POLE CHANGING RELATED TO DIGITE OR OFF SITE WORK FOR THIS PROJECT.

**OWNERSHIP AND USE OF DRAWINGS**

THESE DRAWINGS WHEN PRINTED OR ELECTRONICALLY TRANSMITTED BY THE ENGINEER OR EISENHOUR CONSULTING, LLC ARE INSTRUMENTS OF SERVICE, THROUGH WHICH THE CONTRACTOR SHALL EXECUTE THE WORK DESCRIBED HEREIN. ONLY THE ENGINEER SHALL SIGN, CLAIM AUTHORITY, CLAIM COPYRIGHT OR HOLD ANY OTHER RESERVATION RIGHTS ON THESE DRAWINGS UNLESS OTHERWISE AGREED TO OR PERMITTED IN WRITING BY THE ENGINEER. THESE DRAWINGS SHALL NOT BE COPIED.

THESE DRAWINGS SHALL BE USED SOLELY FOR THIS PROJECT. THE CONTRACTOR, SUBCONTRACTOR, MATERIAL OR EQUIPMENT SUPPLIER ARE PERMITTED TO USE OR REPRODUCE PORTIONS OF THE DRAWINGS RELATIVE TO THEIR PERFORMANCE CONTRACT AS SPECIFIED IN THE CONTRACT DOCUMENTS.

THESE DRAWINGS SHALL NOT BE USED BY THE CONTRACTOR, SUBCONTRACTOR, MATERIAL OR EQUIPMENT SUPPLIER ON OTHER PROJECTS OR ON ADDITIONS TO THIS PROJECT OUTSIDE THE ORIGINAL SCOPE OF WORKS WITHOUT THE SPECIFIC WRITTEN CONSENT.

OFFICIAL SUBMISSION OF THESE PLANS TO REGULATORY AGENCIES SHALL ONLY MEAN COMPLIANCE TO REGULATORY REQUIREMENTS AND SHALL NOT BE CONSTRUED AS PUBLICATION OR LOSS OF ENGINEER'S COPYRIGHTS OR OTHER RESERVED RIGHTS.

**EISENHOUR Consulting, LLC**  
1944 Montegale Court  
Mesquite, TX 75150  
Cell No: 972.411.1739  
Tel/Fax: 214.501.3697

**PROJECT NAME:**  
TRAFFIC CONTROL PLAN  
PROP. 2 - STORY INDEPENDENT MOTEL  
SYMPHONY PARK DRIVE,  
CITY OF BRYAN  
1.236 ACRES

**OWNER/DEVELOPER:**  
AMR HOTELS LLC  
420 LACEBARK DRIVE  
IRVING, TEXAS 75063  
Cell #: 214.395.9398

**ENGINEER COMPANY:**  
E.M. FAGGET ENGINEERING  
P.O. BOX 17805  
FORT WORTH, TEXAS 76102

**FOR PERMITTING:** FREDERICK L. GATELA  
**DESIGN COORDINATOR:** [Blank]  
**DATE:** 10/21/14

**PROJECT STATUS:** [Blank]

**DATE:** 10/21/14

**SHEET:** C7  
OF: 13