

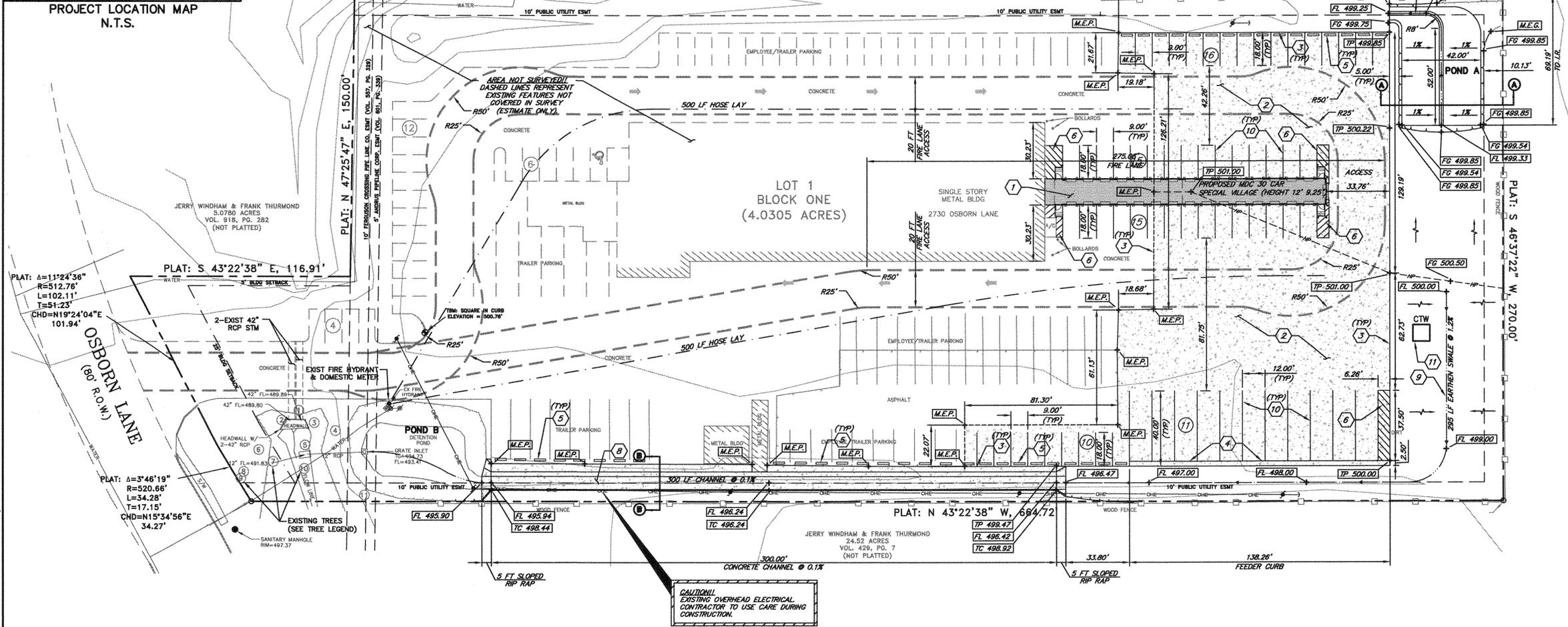
SURVEY NOTE:
 THIS IS A PARTIAL TOPOGRAPHIC SURVEY ONLY. THIS IS NOT A BOUNDARY OR LAND TITLE SURVEY. TOPOGRAPHIC INFORMATION (INCLUDING PAVING LIMITS, GRADE ELEVATIONS, AND UTILITIES) WERE PROVIDED TO US ON AUGUST 14, 2014, VIA ELECTRONIC FILE, PREPARED BY GESSNER ENGINEERING (2501 ASHFORD DRIVE (SUITE 102), COLLEGE STATION, TEXAS 77840, (979) 680-8840). CONTRACTOR TO INSPECT THE SITE PRIOR TO BIDDING AND CONSTRUCTION TO VERIFY EXISTING SITE CONDITIONS AND BENCHMARK INFORMATION AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

FLOODPLAIN INFORMATION:
 THIS TRACT LIES IN ZONE "X" (UNSHADED), DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM FIRM, MAP NUMBER 48041C0215F, COMMUNITY PANEL NUMBER 481195 0215F, LATEST AVAILABLE PUBLISHED REVISION, DATED APRIL 2, 2014.

BENCHMARK NOTE:
 IBM SQUARE CUT IN CURB ON THE NORTH SIDE OF THE DRIVEWAY WHERE DRIVEWAY MEETS ENTRANCE TO PARKING LOT. ELEVATION = 500.78'

LEGAL DESCRIPTION:
 BEING A TRACT OR PARCEL CONTAINING 4.03 ACRES OF LAND CALLED LOT 1, BLOCK ONE, OF OSBORN LANE BUSINESS PARK PHASE I, CITY OF BRYAN, BRAZOS COUNTY, TEXAS.

ADDRESS:
 2730 OSBORN LANE
 BRYAN, TX 77803



GRADING LEGEND

TP 500.00	TOP OF PAVEMENT
TC 500.00	TOP OF CHANNEL WALL
FL 500.00	FLOW LINE
FG 500.00	FINISHED GROUND
M.E.P.	MATCH EXISTING PAVEMENT
M.E.G.	MATCH EXISTING GROUND
4:1	MAX GRADE
1:8	PROPOSED SLOPE
---	GRADE TO DRAIN
- - -	PROPOSED SAWCUT LINE
---	PROPOSED HIGH POINT
---	PROPOSED SWALE
5	EXISTING (CUSTOMER) PARKING COUNT
20	PROPOSED ADDITIONAL (EMPLOYEE/TRAILER) PARKING COUNT
---	FIRE LANE ACCESS (GRAPHIC ILLUSTRATION ONLY. ACTUAL LOCATION OF PAINT STRIPES TO BE COORDINATED WITH FIRE MARSHAL.)
---	500 LF FIRE HOSE LAY

- KEY NOTES**
- PROPOSED MODULAR BUILDING ADDITION. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND DETAILS.
 - CONTRACTOR TO CONSTRUCT CONCRETE PAVEMENT OVER TREATED SUBGRADE. SEE PAVING SECTION DETAIL ON SHEET C4 AND GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS, INC. TITLED "GEOTECHNICAL ENGINEERING REPORT - UNITED PARCEL PAVEMENT IMPROVEMENTS", DATED JUNE 16, 2014, TERRACON PROJECT NO. A1145038. SEE SHEET C4 FOR PAVEMENT JOINTING PLAN.
 - CONTRACTOR TO PROVIDE PAVING HEADER AROUND ENTIRE PERIMETER OF CONCRETE PAVEMENT. SEE DETAIL ON SHEET C4.
 - CONTRACTOR TO CONSTRUCT 2.5 FT FEEDER CURB FOR ALL 12'X40' CONCRETE PARKING STALLS. SEE DETAIL ON SHEET C4.
 - CONTRACTOR TO INSTALL CONCRETE WHEEL STOPS FOR ALL 9'X18' PERIMETER PARKING STALLS. SEE DETAIL ON SHEET C4.
 - CONTRACTOR TO PROVIDE 4" PAINT STRIPING AT 2 FT O.C. AND AT 45 DEGREES AS SHOWN HEREON. (COLOR TO MATCH EXISTING PAINT STRIPING).
 - CONTRACTOR TO CONSTRUCT 84 LF OF 2 FT WIDE CONCRETE TRICKLE CHANNEL AT 0.1% FOR POSITIVE DRAINAGE. SEE CROSS SECTION DETAIL (A-A) AND TRICKLE CHANNEL SECTION DETAIL ON THIS SHEET.
 - CONTRACTOR TO CONSTRUCT 7 FT WIDE, 2.5 FT DEEP CONCRETE DRAINAGE CHANNEL AT 0.1% SLOPE. SEE CROSS SECTION DETAIL (B-B) ON THIS SHEET. PROVIDE SUPPORT FOR AND PROTECT EXISTING POWER POLES DURING CONSTRUCTION.
 - CONTRACTOR TO CONSTRUCT 395 LF EARTHEN DRAINAGE SWALE AT 1.2% SLOPE.
 - 4" PARKING STRIPE (COLOR TO MATCH EXISTING PAINT STRIPING).
 - CONTRACTOR TO PROVIDE CONCRETE TRUCK WASH PIT. SEE DETAIL ON SHEET C4.

DRAINAGE SUMMARY

POND A	
EXISTING IMPERVIOUS COVER IN DRAINAGE AREA:	0.861 AC
PROPOSED IMPERVIOUS COVER IN DRAINAGE AREA:	1.147 AC
STORAGE VOLUME REQUIRED (PROP):	1,000 CF
STORAGE VOLUME PROVIDED:	1,000 CF

POND B	
EXISTING IMPERVIOUS COVER IN DRAINAGE AREA:	1.162 AC
PROPOSED IMPERVIOUS COVER IN DRAINAGE AREA:	1.574 AC
STORAGE VOLUME REQUIRED (EX + PROP):	3,464 CF
STORAGE VOLUME PROVIDED:	4,563 CF

NOTE: 0.228 AC OUTSIDE CONTRIBUTING DRAINAGE AREAS TO PONDS

TREE LEGEND

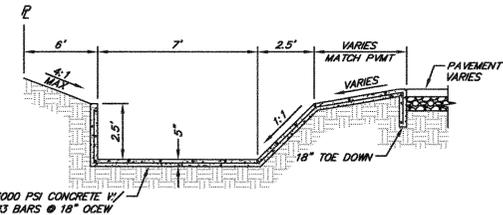
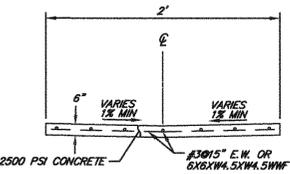
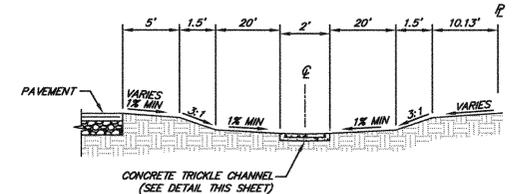
TREE #	TYPE	DIAMETER
1	HACKBERRY	8"
2	WHITE OAK	18"
3	ELM	10"
4	HACKBERRY	10"
5	ELM	10"
6	HACKBERRY	10"
7	WHITE OAK	13"
8	ELM	8"
9	HACKBERRY	8"
10	MESQUITE	24"
11	WHITE OAK	6"

PARKING SUMMARY

EXISTING	
TOTAL BUILDING AREA:	18,800 SF
PARKING REQUIRED (1/1000 SF):	19 SPACES
PARKING PROVIDED:	22 SPACES
HC PARKING PROVIDED:	1 SPACE
HC PARKING PROVIDED (BASED ON PARKING PROVIDED):	1 SPACE

PROPOSED	
TOTAL BUILDING AREA:	20,415 SF
PARKING REQUIRED (1/1000 SF):	21 SPACES
PARKING PROVIDED:	22 SPACES
HC PARKING PROVIDED:	1 SPACE
HC PARKING PROVIDED (BASED ON PARKING PROVIDED):	1 SPACE

*PARKING PROVIDED REPRESENTS CUSTOMER PARKING ONLY (DOES NOT INCLUDE EMPLOYEE PARKING, TRAILER PARKING, OR LOADING DOCKS).



IMPORTANT NOTE:
 THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE NOT SHOWN. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE/SHE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

IMPORTANT NOTE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINMENT AND PROPER DISPOSAL OF ALL LIQUID AND SOLID WASTE ASSOCIATED WITH THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE OCCURRENCE OF WINDBLOWN LITTER FROM THE PROJECT SITE.

IMPORTANT NOTE:
 DEMOLITION/CONSTRUCTION WASTE - SITE IS REQUIRED TO PROVIDE CONTAINMENT FOR WASTE PRIOR TO AND DURING DEMOLITION/CONSTRUCTION. SOLID WASTE ROLL OFF BOXES AND/OR METAL DUMPSTERS SHALL BE SUPPLIED BY CITY OR CITY PERMITTED CONTRACTOR(S) ONLY.

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REV. NO.	DESCRIPTION	DATE	APP.

UPS - BRYAN, TX
2730 OSBORN LANE

SITE DIMENSION/GRADING PLAN

TERRA ASSOCIATES, INC.
 CONSULTING ENGINEERS
 404 E. RAMSEY RD., STE. 104
 SAN ANTONIO, TEXAS 78216
 PHONE: 210-298-1600
 EMAIL: BOS@terraassoc.com
 TBPE Registration No.: F-003832

DRAWN BY: JCM	SCALE: 1" = 30'	CONTRACT: N/A
CHECKED BY: WOS	DATE: 08/28/2014	PROJECT No. S-2580-1407
FILE NAME: C3-SITE	PLOT SCALE: 1" = 1"	SHEET C3 OF 4