

Site Plan

General Notes:

- The topography shown is from field survey data.
- Refer to Final Plat for all lot dimensions and bearings.
- All utilities shown are taken from the best available information based on construction utility documents obtained by J4 Engineering from City and Independent agencies and/or above ground field evidence. Shown positions may not represent as-built conditions.
- The contractor shall be responsible for verifying the exact location of all existing underground utilities, whether shown on these plans or not. Notification of the utility companies 48 hours in advance of construction is required.
- All construction shall be in accordance with the current BCS Standard Specifications, Details, and Design Guidelines for Water, Sewer, Streets, and Drainage, unless otherwise noted.
- It is the intent of these plans to comply with all City of Bryan guidelines, specifications & details.
- See Sheet C1 - General Notes

Preliminary Plans Only Not for Construction

This document is released for the purpose of interim review under the authority of Glenn Jones, P.E. 97800 on Nov. 24, 2015. It is not to be used for construction, bidding, or permitting purposes.

Released for Review

No.	Revision/Issue	Date

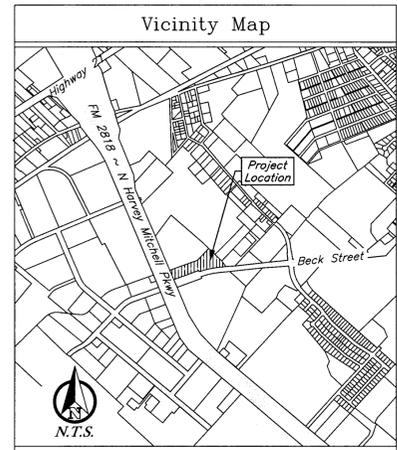
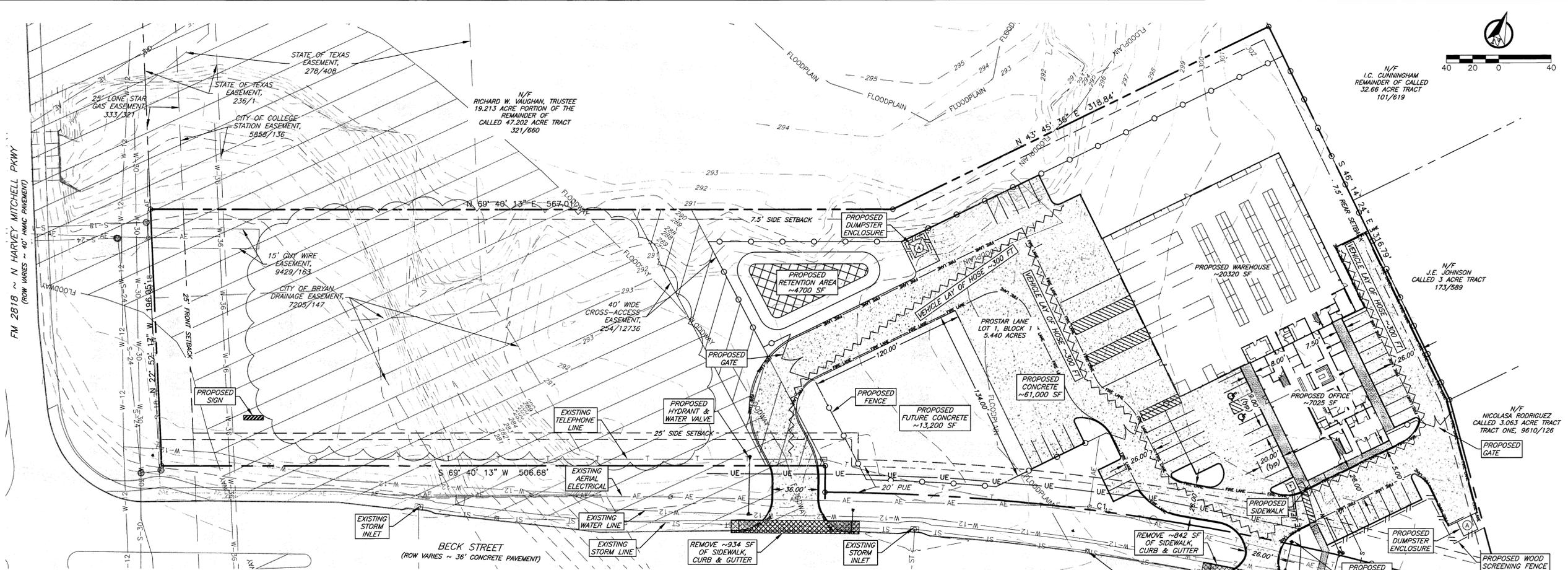
Firm Name and Address:

J4 Engineering
 PO Box 5192 - Bryan, Texas - 77805
 979-739-0567 www.j4engineering.com
 Firm # 9921

Project Name and Address:

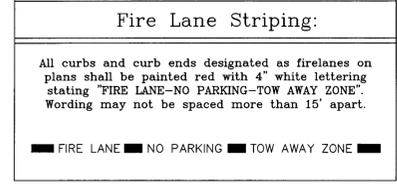
Prostar and Howell Services
 1430 N. Harvey Mitchell Pkwy
 Lot 1, Block 1 Prostar Lane ~5.440 AC
 Bryan, Brazos County, Texas

Date:	Nov. 2015	Sheet:	C2
Scale:	As Noted		



Parking Analysis:

Proposed Improvements:	
20,320 SF Warehouse Space	
7,025 SF Office Space	
27,345 SF Total Storage and Office Space	
New Required Parking:	
21... 1 Space per 1000 SF Wholesale Warehouse	
24... 1 Space per 300 SF General Office	
45... Total Required	
New Provided Parking:	
50... Straight in Parking	
2... ADA Parking w/Van Accessible	
52... Total Provided	



- ### Construction Notes:
- 12'x12' dumpster pad w/ 10' apron w/ 6' tall wooden enclosure. Dimensions shall be measured from face of bollards.
 - All fill subgrade and base material shall be in accordance with geotechnical report "Report of Subsurface Exploration and Geotechnical Study Proposed ProStar and Howell Services Warehouse/Office Building Northeast of Intersection between Beck Street and North Harvey Mitchell Parkway (FM2818) Bryan, Brazos County, Texas" Prepared by CME Testing and Engineering, Inc on July 13, 2015.
 - All concrete to be constructed with 4,000 psi (Min) - 28 day strength portland cement concrete.
 - All items to be removed during clearing and grubbing. Remove not only the above ground elements, but all underground elements as well. All excavated material shall become the property of the contractor unless otherwise directed by the Owner. All debris must be disposed of off site.
 - Prior to grading operations, contractor is to strip the first 6" of soil. Contractor shall proof roll the entire site and remove any unstable materials according to TxDOT Specifications. Select fill is to be used in replacing objectionable material.
 - Assure positive drainage across project site to the storm water structures.
 - Normal Domestic Wastewater is anticipated to be discharged from this development.
 - Potable Water Protection - All devices, appurtenances, appliances, and apparatus intended to serve some special function and that connects to the water supply system, shall be provided with protection against backflow and contamination of the water supply system.
 - Irrigation System - Potable water supply must be protected by either an atmospheric or pressure vacuum breaker, or testable double check valve assembly, and installed per City Ordinance.
 - Each utility contractor is responsible for positioning and trenching of service lines. Mark all lines with utility tape. Utility contractors are responsible for coordinating with paving contractor in placement and installation of any necessary utility conduit prior to subgrade preparation. Lines requiring slope control are to be installed first. All other lines not requiring slope control or elevation shall be installed deepest first. Each contractor is responsible for knowing final determination of installation order.
 - Materials and methods for pavement markings shall conform to TxDOT Standard Specifications for Construction of Highways, Streets, and Bridges (current edition), with the following exceptions: 1) Type II marking materials need not be purchased from the Department, and 2) Glass beads may be omitted, but marking material shall be Type II paint-type material.
 - The Contractor shall be responsible for the containment and proper disposal of all liquid and solid waste associated with this project. The Contractor shall use all means necessary to prevent the occurrence of windblown letter from the project site.
 - Demolition/Construction Waste - Site is required to provide containment for waste prior to and during demolition/construction. Solid waste roll off boxes and/or metal dumpsters shall be supplied by City to permitted contractor(s) only.

- ### Site Specific Notes:
- The owner & developer of the property is Morgan Lane, LP. The subject property is lot 1, block 1 of Prostar Lane. The property is zoned C-3, Commercial.
 - Total lot acreage is 5.440 Acres.
 - Proposed building is a single-story type IIb without sprinklers. The building is a total of 27,325 SF.
 - Proposed use - Office/Warehouse.
 - This lot is within the 100-YR floodplain according to the DFIRM for Brazos County, Texas and Incorporated areas, Map No. 48041C0195E, effective July 7, 2014.
 - The stormwater runoff from this development will be controlled by an onsite collection and detention system and discharged into the ROW of Beck Street.
 - Standard side and rear setback lines of 7.5' and front setback of 25'.
 - Developer/Tenant to submit electrical load information when requesting electrical service from BTU. Contact Line Design @ 821-5770.
 - Access gates shall be manually operated and secured with a chain and pad lock.
 - Drainage information and details will be provided on the Grading Plan.



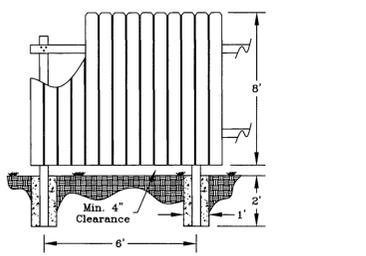
Fire Lane Sign Detail
N.T.S.

NOTICE!

The contractor is specifically cautioned that the location and/or elevation of the existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. It is the contractor's responsibility to avoid all existing utilities and repair any damaged lines, at his own expense, whether the utility is shown on these plans or not. The contractor shall notify the appropriate utility company 48 hours prior to any excavation.

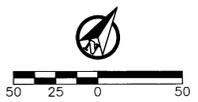
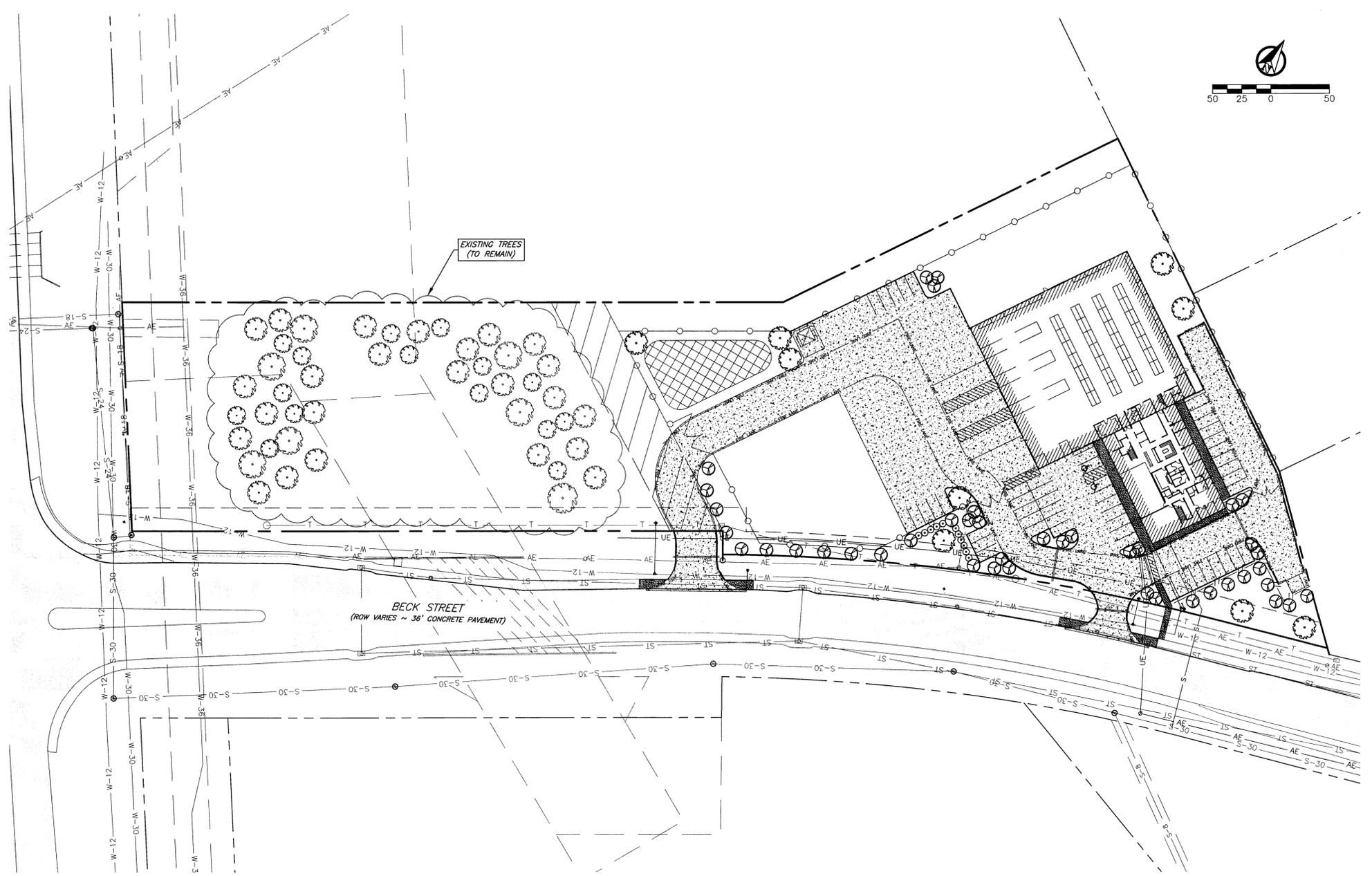
Contact Information:

Texas One Call:	800-245-4545
Lone Star One Call:	800-669-8344
Texas Excavation Safety System (Digless)	800-344-8377
Bryan Texas Utilities	979-821-5865
Atmos Energy	979-774-2506
Verizon	979-821-4300
Suddenlink	979-846-2229



Dumpster Enclosure
N.T.S.

11/24/2015 Prostar-Howell Site Plan with Pond.dwg J4E Project # 14-061 J4 Engineering



Landscape Analysis:

Construction Activities:

Parking & Pavement	=	60,840 SF
Building	=	27,345 SF
Net Total	=	88,185 SF

Requirements:

Building, Parking, & Pavement	=	13,228 SF
88,185 SF @ 15%	=	13,228 SF
Total Required	=	13,228 SF

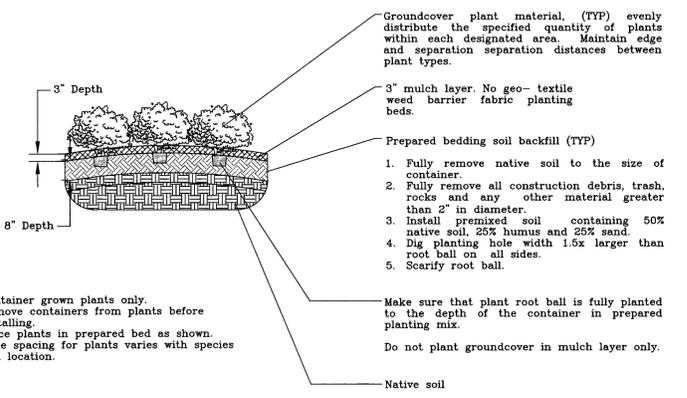
Provided:

Canopy Trees	=	1,200 SF
6 @ 200 SF	=	1,200 SF
Non-Canopy Trees	=	5,850 SF
39 @ 150 SF	=	5,850 SF
Shrubs	=	110 SF
11 @ 10 SF	=	110 SF
Grasses/Ground Cover	=	1,984 SF
10 SF per 100 @ 144,293 SF	=	1,984 SF
(Limited to 15% of Required)	=	1,984 SF
Existing Trees	=	6,068 SF
Net Total	=	15,212 SF

Symbol	Qty	Common Name	Botanical Name	Size
	6	Live Oak	Quercus virginiana	2" cal.
	39	Crepe Myrtle	Lagerstroemia indica	1 1/2" cal.
	11	Waxleaf Ligustrum Shrub	Ligustrum japonicum	2 Gallon

Landscape Notes:

- All disturbed area to be seeded with Bermuda Grass except where Bermuda Grass Sod is called for on the plans.
- "Cal." indicates caliper at 12" above the ground.
- All trees shall be provided as container grown trees.
- All landscaping plant material shall be guaranteed for a period of one year from the date of installation by contractor. After one year, the owner will be responsible for maintenance of all landscaping.
- Plant material shown here is represented at its mature size. Plants to be installed will be significantly smaller than those shown and should not be expected to reach maturity for several years dependent on growing conditions.
- Contractor is to seed all disturbed areas left unpaved and guarantee coverage of vegetation until establishment of grass. Grass type shall be Bermuda grass or Rye/Bermuda mixture.
- Plantings for parking lot screening (Crepe Myrtles) shall be planted a maximum of 3 feet from the edge of parking lot pavement. No Plantings shall be placed directly over existing water/sewer lines.



Notes:

- Container grown plants only.
- Remove containers from plants before installing.
- Place plants in prepared bed as shown.
- Edge spacing for plants varies with species and location.

Groundcover plant material, (TYP) evenly distribute the specified quantity of plants within each designated area. Maintain edge and separation separation distances between plant types.

3" mulch layer. No geo- textile weed barrier fabric planting beds.

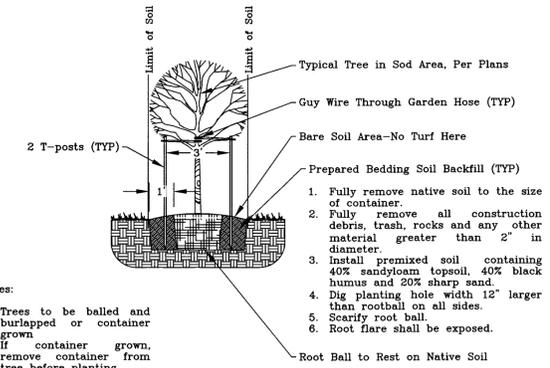
Prepared bedding soil backfill (TYP)

- Fully remove native soil to the size of container.
- Fully remove all construction debris, trash, rocks and any other material greater than 2" in diameter.
- Install premixed soil containing 50% native soil, 25% humus and 25% sand.
- Dig planting hole width 1.5x larger than root ball on all sides.
- Scarify root ball.

Make sure that plant root ball is fully planted to the depth of the container in prepared planting mix.

Do not plant groundcover in mulch layer only.

Native soil



Notes:

- Trees to be balled and burlapped or container grown.
- If container grown, remove container from tree before planting.
- Top of root ball to be 3" higher than final grade.
- Top of root ball to be exposed.

Typical Tree in Sod Area, Per Plans

Guy Wire Through Garden Hose (TYP)

Bare Soil Area-No Turf Here

Prepared Bedding Soil Backfill (TYP)

- Fully remove native soil to the size of container.
- Fully remove all construction debris, trash, rocks and any other material greater than 2" in diameter.
- Install premixed soil containing 40% sand/loam topsoil, 40% black humus and 20% sharp sand.
- Dig planting hole width 12" larger than rootball on all sides.
- Scarify root ball.
- Root flare shall be exposed.

Root Ball to Rest on Native Soil

Landscape Plan

General Notes:

- An irrigation system to service all new plantings will be inserted by a certified installer prior to a certificate of occupancy being issued.
- Irrigation system must be protected by either a pressure vacuum breaker, reduced pressure principle back flow device, or a double-check back flow device and installed as per city ordinance 2394.
- All back backflow devices must be installed and tested upon installation as per city ordinance 2394.
- Contractor/developer to furnish accurate as built irrigation plans to city of Bryan parks department. Show lines, valves, heads, controller, wiring, etc.
- It is the intent of these plans to comply with all City of Bryan guidelines, specifications & details.
- See Sheet C1 - General Notes

**Preliminary Plans Only
Not for Construction**

This document is released for the purpose of interim review under the authority of Glenn Jones, P.E. 97800 on Nov. 24, 2015. It is not to be used for construction, bidding, or permitting purposes.

Released for Review

No.	Revision/Issue	Date

Firm Name and Address:

J4 Engineering
PO Box 5192 - Bryan, Texas - 77805
979-739-0367 www.J4Engineering.com
Firm# 9951

Project Name and Address:

Prostar and Howell Services
1430 N. Harvey Mitchell Pkwy
Lot 1, Block 1 Prostar Lane ~5.440 AC
Bryan, Brazos County, Texas

Date:	Nov. 2015	Sheet:	L1
Scale:	As Noted		