

REVISIONS:
1. 10-09-2020

The background of the entire page is a photograph of a park at sunset. In the foreground, there is a body of water reflecting the sky. A line of trees stands in the middle ground, with a small building or pavilion visible behind them. The sun is low on the horizon, creating a bright glow and long reflections on the water. The sky is filled with soft, white clouds.

TRAVIS BRYAN **MIDTOWN PARK**

DESIGN GUIDELINES

June 12, 2020

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01 Introduction

Introduction

Purpose of the Architectural & Landscape Design Guidelines

These guidelines are intended to provide City staff, designers, and architects a logical roadmap for understanding and incorporating planning and design values for Travis Bryan Midtown Park. While the guidelines are not exhaustive and not intended to be prescriptive, these principles are designed to establish an aesthetic and stylistic template to be consistently applied over the years as the park develops.

The blend of textual descriptions and visual precedents represent the expectations and aspirations of the City of Bryan for the development of the park as part of the Midtown District Improvement. In no instance are these Guidelines intended to be less restrictive than the requirements of the City of Bryan's Unified Ordinance Guidelines. Additionally, it is the design/development professional's sole responsibility to coordinate these Guidelines with all applicable local, state, and federal regulatory requirements.

Principles

Bryan respects and serves its community first

Park plans and designs must be consistent with the values of maintaining a publicly accessible and welcoming venue for residents by:

- Ensuring sufficient open space is provided for the enjoyment of park-goers;
- Developing significant trails and pathways for visitors and;
- Constructing amenities that are of the quality and flexibility required to serve multiple generations of Bryan residents.

Bryan is a regional and statewide brand and destination

The Park should be attractive to a wide variety of visitors:

- Offering competitive facilities that are striking, superior to similar facilities in other communities, and are designed with the user experience as a key value, by ensuring structures are of a consistency, style, and quality which reflect the City's commitment to being a destination and;
- In establishing reliable standards which provide reassurance to potential private partners who may seek to create amenities in the Park and want to ensure their investment is worthwhile.

Midtown Park is the centerpiece of the Midtown District revitalization

The Park is Bryan's "Central Park", playing host to a variety of attractive and relevant amenities:

- Which must be historically and culturally relevant and connected;
- Being timeless and appropriate to the community solidifying the districts unique atmosphere and;
- Demonstrate respect for the natural, livable, walkable community envisioned by the Midtown Master Plan.
- Provide opportunities for recreational and sporting event community enjoyment.

Objectives for Use

The overall objective in establishing design guidelines for site development at Travis Bryan Midtown Park is to ensure a sense of aesthetic value and environmental sensitivity in the development of the park campus. The following are specific objectives for these design guidelines:

- To promote a high quality park setting for a variety of building types and facilities that share a consistently exemplary architectural and landscape architecture design;
- To assist in the development of public open space that addresses community needs and attractive marketplace facilities;
- To promote and enhance the development of park amenities and venues that are attractive, effective, and provide benefit and enjoyment to multiple user groups;
- To protect those locating within the park that the quality of the overall development will remain high; and therefore, that the economic and environmental values will be protected;
- To preserve, enhance, and protect the natural and cultural features of the environment and;
- To provide direction for maintenance following development of the site.

Design Review

All projects will go through the City of Bryan process for development.

A Pre Development meeting is recommend, contact Lauren Hovde, Development Administrator.
lhovde@bryantx.gov

www.bryantx.gov/planning-and-development-services/permits-and-applications.

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Introduction

History

The City decommissioned the Travis Bryan Municipal Golf Course in December 2017 after approximately 100 years of operation. There is an inherent historical connection to the land beyond its service as the former golf course. Established in 1918 by local residents, a club, swimming pool, and nine-hole golf course of sand and oil was originally founded as the Bryan Country Club. Unable to meet their loan payments during the country's Great Depression years, the property eventually went back to the lender, the First National Bank of Bryan, the oldest privately held bank in Texas throughout the remainder of the 20th Century. The land and improvements were then deeded to the City of Bryan for the benefit of all residents that they may enjoy affordable public golf in Brazos County. Shortly after the turn of the 21st Century, the golf course was renamed from the Bryan Municipal Golf Course to the Travis Bryan Municipal Golf Course after the legacy namesake of the family who donated the canvas for today's regional park.

In late 2017, the City of Bryan set forth a new vision for the former golf course and Country Club Lake. Sunsetting its long existence as a golf course and following acquisition of another public facility that could provide golf to the community, the City elected to convert the property into a major regional park meeting the needs of community and sports & recreational tourism destination goals. In the spring of 2018, the City began to develop a master plan and design for the park property consistent with the goals of elevating Bryan's role in the region's burgeoning sports and recreational tourism market while maintaining an open park setting for families and residents. Throughout the planning process the key principle of City leadership was to value community needs with economic development goals as holistically as possible.

To create a substantive economic development tool to attract visitors and their business while honoring the rich history of the park in the local community and ensuring it serves residents as well as it serves economic interests.



Early 1920's photo of Bryan Country Club. Note swimming pool in upper left portion of image.



The pool contained an elaborate arbor shade structure and viewing area surrounding the perimeter.

Source: Images of America Bryan, by Windy W. Patzewitsch

Master Plan

The master plan of Travis Bryan Midtown Park builds upon the existing fabric of development since its inception in the early 1900's. The current plan, dated 2020, has a series of overarching objectives, out of which flow these Design Guidelines. The Design Guidelines are the primary tool to achieve the objectives of the master plan, and as such, have a variety of measurable strategies to effect those objectives. Objectives include:

- The creation of a walkable urban park situated adjacent and central to Midtown neighborhoods; a place in which the standard of measure is human rather than that of motorized vehicles.
- The evolution toward a mixed-use park in which to recreate, explore, exercise, shop, and enjoy food and entertainment.
- The restoration and/or preservation of the natural systems of Midtown Lake, creeks, drainage ways, existing urban forest canopy, and wildlife & fisheries habitat.
- The enhancement of the cultural landscapes and their incorporation into mixed-use area of the park.
- The creation of a comprehensive open space network connecting all developed areas within the park to each other with walking and bicycle trails to reduce vehicular trips.
- The inclusion of potential sports-related facilities, boutique hotel, restaurants, and retail shopping to accommodate and reduce vehicular trips.
- The provision for a wide variety of building types and sizes to best meet the diverse needs of the marketplace.
- The inclusion of sustainable principles of into planning, design, and maintenance of the park campus to set a benchmark for environmental stewardship within the region.



Travis Bryan Midtown Park Master Plan 6/10/2020

02 Development Guidelines

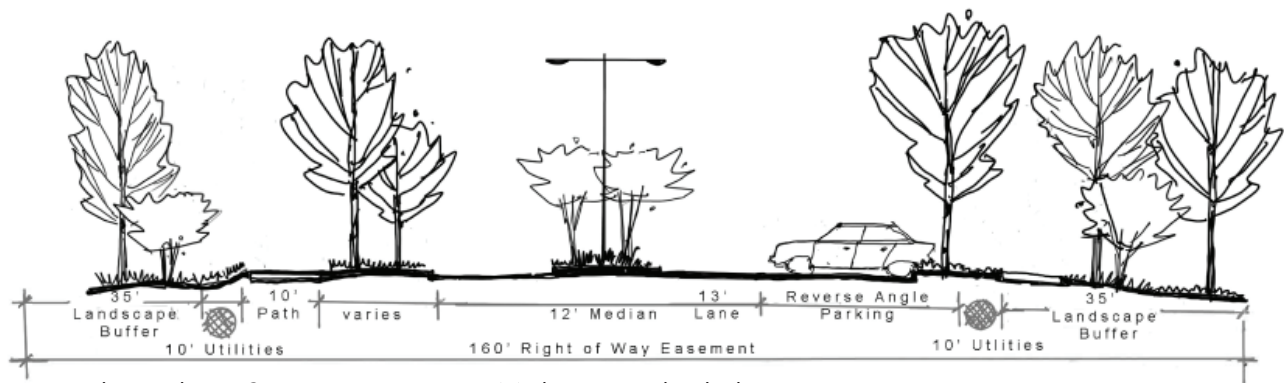
Development Guidelines

I. Site Planning

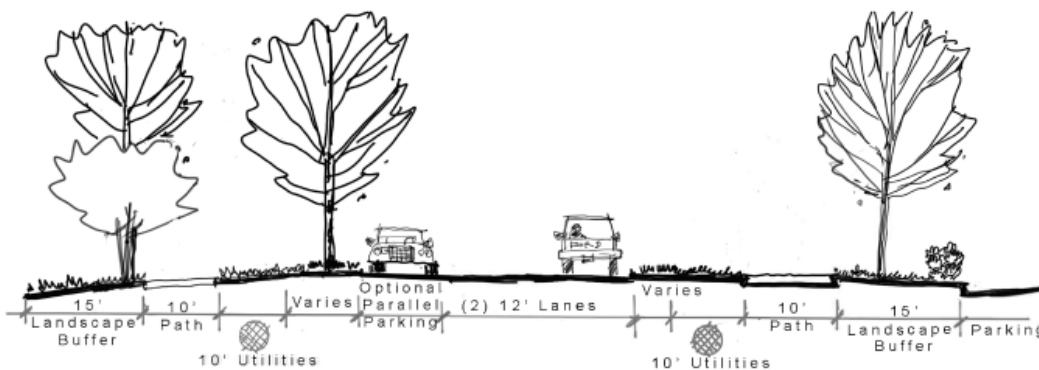
1 - Vehicular & Pedestrian Corridors

The overriding design intent for Midtown Park is to create a network of streets and pathways that provide safe and dependable routes to serve the needs of vehicles, pedestrians and cyclists. It is preferred that corridor alignments should incorporate a more curvilinear nature, emphasizing soft curves vs. a grid system. Site should avoid geometry that would create a pass through or "short cuts" for vehicles.

- Main traffic spines should be four lane divided connector streets with landscape medians and bike lanes.
- Connector roads should efficiently disperse traffic while maintaining slower speeds to promote pedestrian-friendly streetscapes. Connector roads should have a smaller roadway cross section without medians, and gracious planting buffers along the roadway.
- Where possible include parallel parking to encourage better access to park amenities.
- Pedestrian corridors and connectivity are strongly encouraged, but need to be located at well-protected intersections.
- Multi-modal roadways are to include vehicles, cyclists, pedestrians, and scooters.

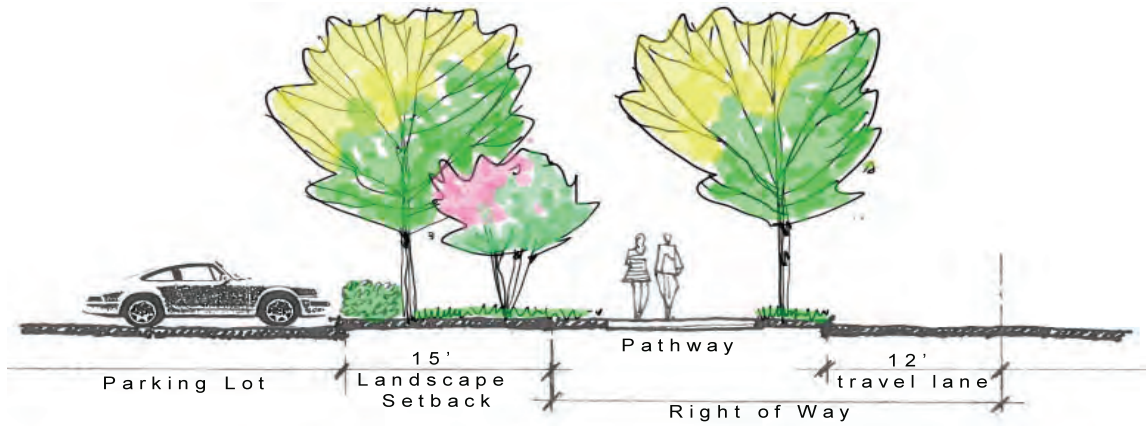


Typical Roadway Sections @ Future Midtown Park Blvd. extension

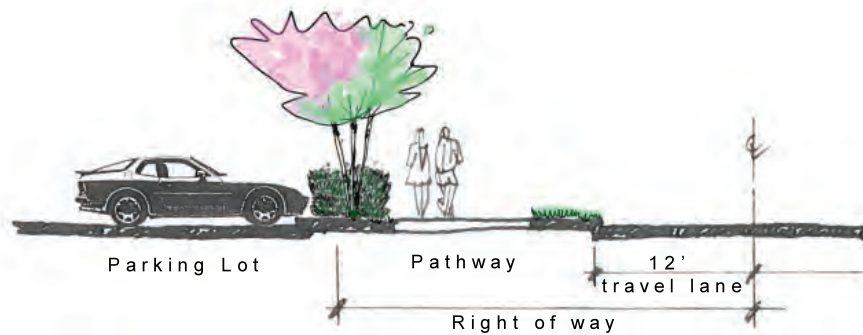


Typical Connector Road Section

Vehicular & Pedestrian Cross-sections with Setbacks



Landscape Buffer at Parking Lot



Shrub Screening at Parking Lot

Development Guidelines

2 - Parking

The desire is to minimize the visual impact of automobiles and large expanses of paving, while safely serving the needs of motorists and pedestrians. Distributive parking is encouraged through use of design and landscaping to break up the monotony of large paved areas. As much as possible, parking areas should minimize negative impacts on existing trees, by minimizing the amount of cut and fill on site.

- Screen all parking areas from roadways and adjacent properties.
- When possible, implement Low Impact Development practices with bio-swales and surface drainage as a means to accommodate storm water.
- Highlight entrances with special landscaping, lighting and signage, allowing for adequate and safe sight distances.
- Turning radii, into and within the parking areas, shall be designed to accommodate the largest vehicles anticipated on each site.
- To encourage pedestrian safety, drop off zones are encouraged.
- Encourage ride share parking areas.
- Overflow parking should be considered with a pervious material.
- Shared parking is strongly encouraged



Conceptual parking lot layout design, to incorporate pedestrian safe paths, shade trees and landscape buffers

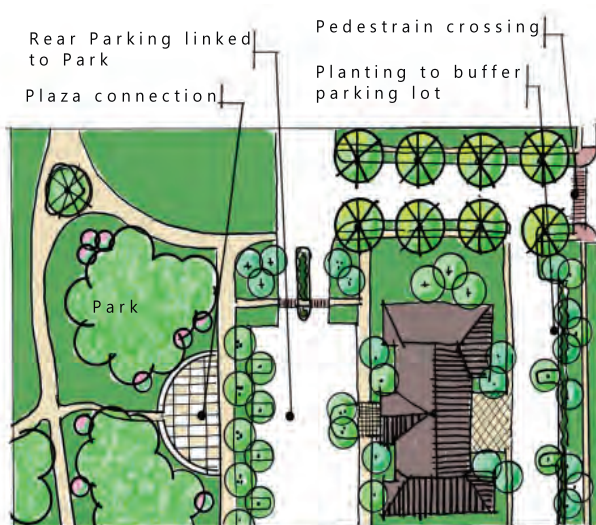
- Head in parking with two-way traffic aisles is preferred in parking lots.
- Consider angled or reverse angle parking along secondary roads.
- It is encouraged that contiguous parking areas should provide tree planting islands, minimum 8' wide where possible for shade trees.
- Landscaping parking requirements are outlined in the Code of Ordinances of Bryan. This should be considered a minimum and exceeding this code is encouraged. See recommended regional plants list for further details.
- Service loading areas shall be buffered from view of any adjacent properties, streets or public right of ways.



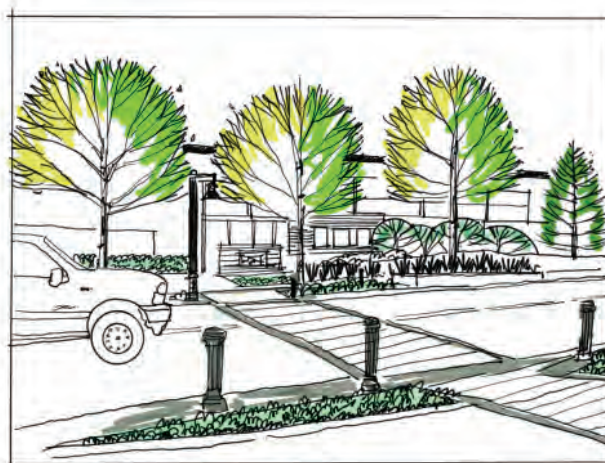
Reverse Angle Parking



Consider reverse angled parking layouts along connector roads, reverse angle parking creates a safer vehicular parking design and accommodates large trucks



Site parking layout - Rear parking connection opportunities to pedestrian trails.



Enhance Pedestrian Crossings with designated striping.

Development Guidelines

3 - Building Scale & Orientation

Building scale and placement are critical to maintaining an open, park like feel while promoting access, walkability, and enhancement of user experience. Midtown Park should be a welcoming destination point for a variety of activities, social gatherings, and hospitality/shopping. Adequate space between parking areas and building edge should be provided, including shaded places for gathering (refer to Connective Spaces). Safety, neighborhood context, and visibility are other key roles buildings should play in Midtown Park.

- Most buildings in the park should be limited to 35 feet or three stories in height, to maintain an appropriate scale and coordinate with current City of Bryan Zoning requirements.
- Certain buildings may be required to exceed 35 feet or three stories, based on use. Such buildings should be reviewed for approval by the City early in the development process.
- In addition to compliance with applicable City of Bryan Zoning requirements, Site layout should enhance pedestrian movement with adequate landscape and site furnishing buffer zones between buildings and parking/driveway areas.
- Placement of buildings should integrate with vehicular wayfinding so users can readily find their preferred destination while parking.
- Less attractive elements of building lots such as service/loading entrances, mechanical yards, and accessory storage should be disguised by placement or screening/landscaping (See Landscape Architecture).
- Orientation of buildings should maximize pedestrian access and visibility, and minimize solar heat gain where possible.
- Orienting buildings to frame pedestrian-only corridors or courtyards is highly recommended, and fosters opportunity for community events.
- The footprint of new buildings should comply with applicable City of Bryan lease lines and Lot Standards. Excessive ground floor areas and sprawling building placement should be avoided, while maintaining walkability from building to building.

4 - Connective Spaces

Site design should incorporate outdoor spaces to encourage activities that vary from gatherings to individual experiences. One important principle for Midtown Park is to ensure that all sites within the park contribute a meaningful open space to the overall benefit of the community. It is critical that each parcel lessee pay close attention to the edges of their sites to help create a seamless experience and character to Midtown Park. Logical transitions between properties will help reinforce the “fabric” of the overall park. The goal is to have a sense of being connected or interconnected to the site and promote pedestrian friendly spaces. Spaces can be specifically for the building tenants, but encouraging opportunities for community interaction with the Midtown Park is desired.

- Create pedestrian nodes/plazas throughout the corridors.
- Nodes should have a variety of options: drinking fountains, refuge, gathering, bike and scooter parking, etc.
- Plazas and courtyards should accommodate a large crowd as well as smaller more intimate groups.
- Consider social stairs at entrance ways of buildings for gathering opportunities.
- Large open lawns to welcome multi-use activities.
- Play areas and structures where appropriate.



Social Stairs



Interactive Plazas



Open Lawns



Nodes along Paths

Development Guidelines

II. Landscape Architecture

1 - Pathways - inter-parcel connectivity

An overriding desire of Midtown Park is to create a walkable park, interconnected to all various businesses and activities. Pedestrian corridors need to be created to facilitate safe movement through the park. Pathways should be as barrier free as the site will allow – avoiding steps as much as possible. ADA-required curb ramps shall be located at all sidewalk intersections.



- Whenever possible pathways should purposefully meander and widen with a 6' ft minimum dimension.
- All tenants are required to connect their site's pathways to the web of trails serving Midtown Park.
- Pathways should anticipate multiple users: walkers, joggers, bicyclist, and dog walkers.
- Acceptable materials include:
 1. Natural Colored Concrete
 2. Brick Pavers
 See page 35 for materials.
- Encourage shaded gathering plazas with seating and activities.

Multi-Use Trails

The pedestrian trails throughout Midtown Park will incorporate a multitude of user experiences. Visitors will have the ability to meander through the park by foot, bike, and scooters. A hierarchy of trail options are proposed to allow for safe and active interaction.



Multi-use Trails



Pedestrian Lighting - see page 33



Pedestrian Nodes



Designated Parking

- Whenever possible pathways should purposefully meander.
- A minimum 10' wide dimension for multiple uses is required.
- Create separation of user experience with variety of off-path amenities.
- Incorporate bike and scooter parking areas.
- Enhance pathways to allow for emergency and maintenance vehicle access.
- Ensure safe and well-lit paths.
- Create connections between buildings, plazas and other uses.
- Prohibit motorized vehicles on trails.

Development Guidelines

Pedestrian Bridges

Due to certain site conditions, pedestrian bridges will be required to maintain the overall connectivity of the trail system.

- The material / style of the truss bridges shall be Self Weathering Steel.
- Minimum width shall be 10' clear space.
- Designs shall accommodate the use of occasional maintenance vehicles.
- All access points and handrails shall meet current ADA Standards for Accessible Design.
- Smaller and less significant bridges should be designed using long-lasting materials such as composite, steel or concrete.



Lake Edge

The Midtown Park lake edge allows for a variety of experiences and interactions. The existing lake and its tributaries give the park an opportunity to revive and energize the entire site. Allowing for a user-friendly experience and a genuine connection to nature will ensure the viability of wildlife restoration.



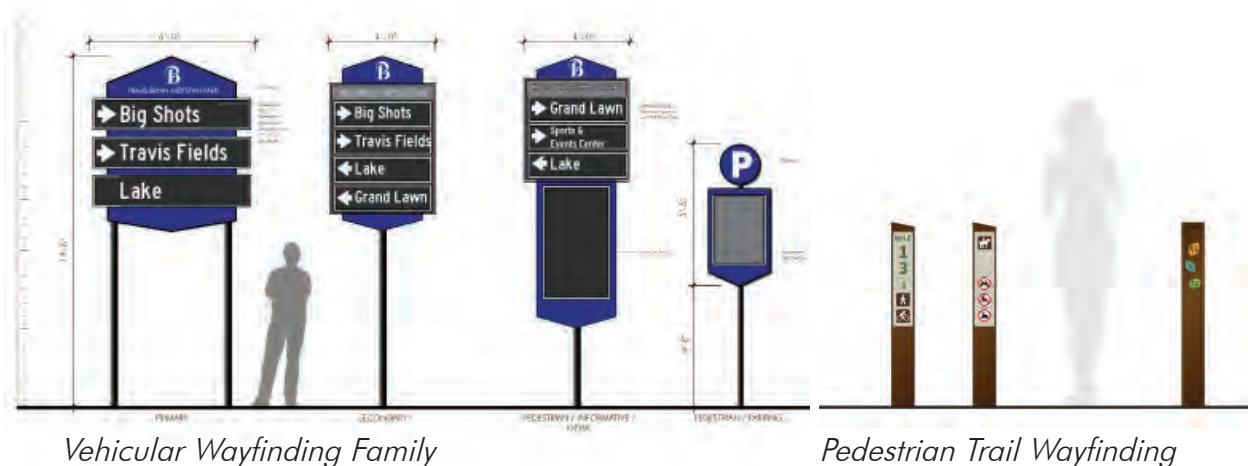
- Natural edges should keep the existing flora and fauna in mind, and restore natural habitats for the native wildlife.
- Pathways should connect to the waters edge for visitors of all ages and abilities to enjoy and learn about the natural habitats with interpretive signage.
- Development connections should keep in mind the existing flood areas and consider connecting through boardwalks and overlooks.

Development Guidelines

2 - Signage and Wayfinding

Signs shall be carefully integrated with the site, architectural design and landscape context within the area they are located. Proportions, shape and size shall be compatible with the surroundings and shall not compete with or obscure other design features within the park.

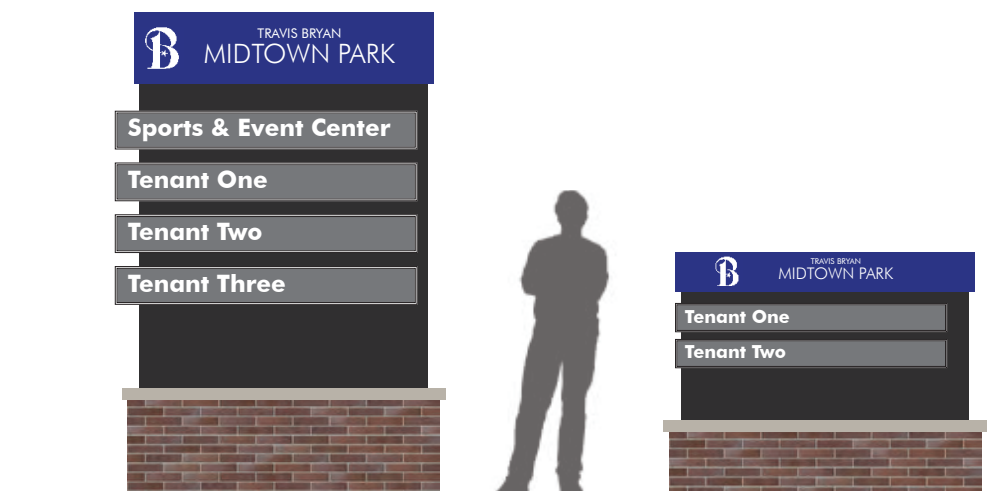
- Signage shall be of compatible colors and materials.
- Tenant signage is limited to 6' high and 50 sf of surface area.
- All signage shall be approved and permitted by the City of Bryan.
- Wayfinding signs shall encourage joint identification signage to help limit the number of freestanding monument signs.
- Signs with attention-getting devices such as blinking, flashing, or fluttering lights shall not be used.
- Banners, pennants, ribbons, streamers, strings of light bulbs, beacon, or search lights or similar devices shall not be used.
- Approved temporary construction signs limited to 4' x 8' are acceptable during the construction process and shall be removed after certificate of occupancy is granted.



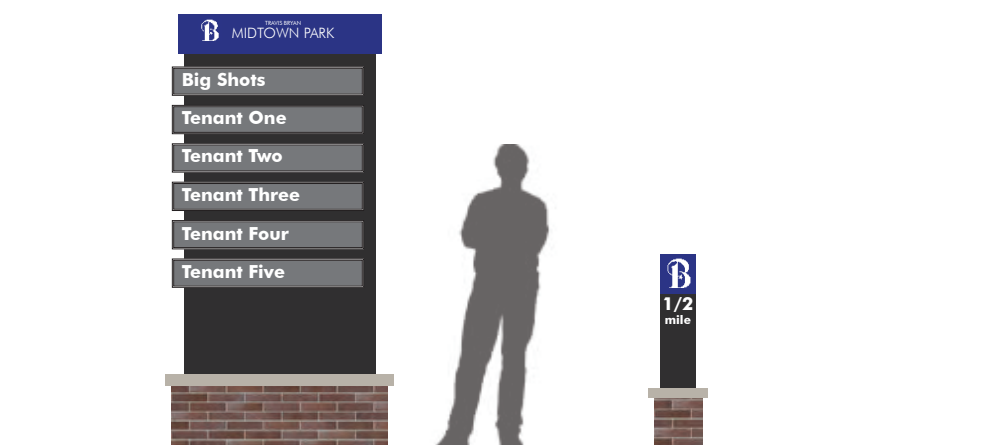
Wayfinding Examples - A vehicular and pedestrian wayfinding system should be in place to allow for a consistency and legibility.

Site Signage will address several areas for the park user:

- Major tenants
- Smaller groups of tenants
- Pedestrian scaled wayfinding
- Vehicular scaled wayfinding
- Interpretive signage
- Trail systems



Vehicular Scale monument signage concepts



Pedestrian Scale monument signage concepts

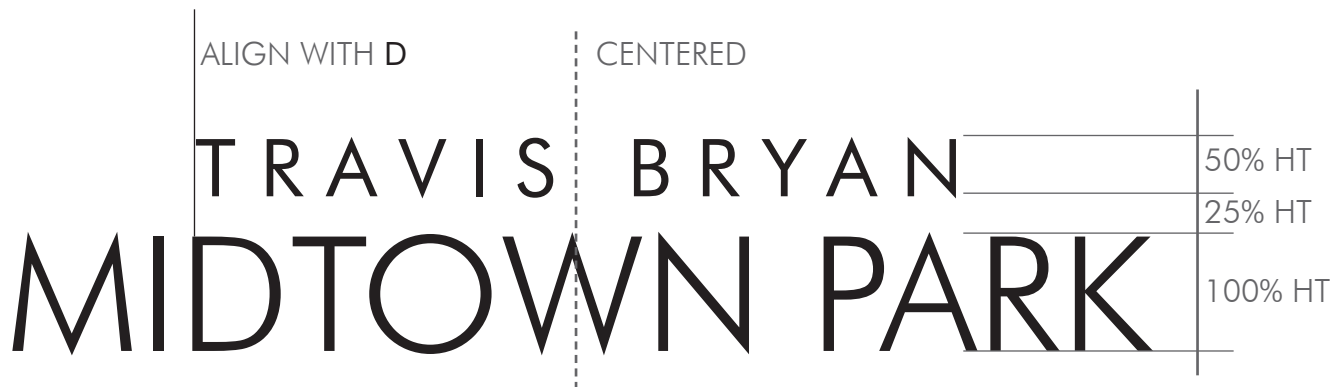
Monument signage should compliment the architecture of Midtown Park. Brick masonry base with painted metal sign cabinet.

Development Guidelines

Typography

Involves the Font style, appearance, and structure. It shall create a clear and concise wayfinding system.

- Clearly legible whether viewed by pedestrians or from vehicles.
- Create a comprehensive, clear and consistent visual communication system with concise messaging.
- Show information relevant to the space, location and / or navigation path.
- Remove unnecessary elements to create a clear visual environment ahead.



Font Style: FUTURA LT BT

"TRAVIS BRYAN" at 50% font height of "MIDTOWN PARK"

300% Tracking, align starts at Midtown's D.

25% ht spacing between top and bottom rows.

Centered

3 - Site Structures

A separate site vocabulary all together with a wide array of items: seat walls, stairs and handrails, shade structures, medical and emergency devices.



- While allowing flexibility for individuality sites, architectural elements such as seat walls, stairs and handrails shall complement the site's building material.
- Shade structures, when used, should complement the site's building materials and may include brick, stone, wood or metal painted black.

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Development Guidelines

Fencing, Barriers and Screens

A separate site vocabulary all together with a wide array of items: fencing, barriers, screens.



Cable rails/fencing painted black with stainless steel cables



Bollards - collapsible, painted black



Screening - brick masonry, with louvered screens, painted black

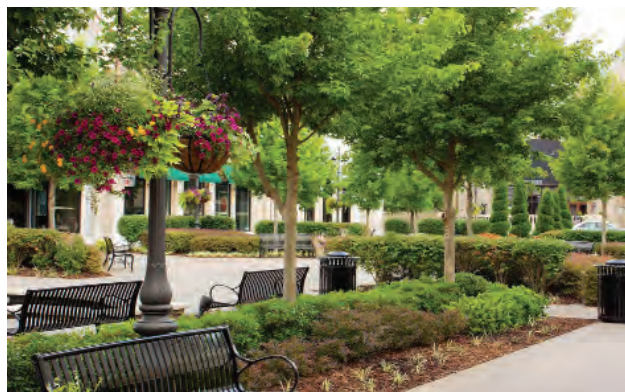


Screens - louvered screening painted black

- Fencing, barriers, and screens shall complement the site's building materials.
- These would generally apply to services areas, loading docks, HVAC Units, and trash bins.

4 - Planting

Landscaping should emphasize native, long-lived species, well adapted to the Brazos Valley. In addition to the buildings, plant materials contribute greatly to the individual character of each site. Each individual site, while having a separate identity, will be similar in character. The use of plantings around the base of the buildings is desired to reduce building mass and to break up large blank walls.



Maintained landscape at high traffic areas



Preserved existing landscape



Enhanced lake water shed edges



Prairie Restoration along open spaces

- Maintain as many of the existing trees as possible with deliberate and sensitive site layout and building design.
- Continue the lines, forms, masses, and created spaces with planting designs.
- All planting design shall be in accordance or exceed City of Bryan landscape requirements.
- All landscaping shall be fully automatically irrigated with products that meet the latest EPA Water Sense criteria.
- Landscaping shall consist of a combination of street trees, site trees, shrubbery, ground cover, and grass.
- Landscaping shall not interfere with sight line requirements at driveway or street intersections.

Development Guidelines

Recommended Plant List

Trees

Lacebark Elm (*Ulmus parvifolia*)
 Cedar Elm (*Ulmus crassifolia*)
 Live Oak (*Quercus virginiana*)
 Water Oak (*Quercus nigra*)
 Post Oak (*Quercus stellata*)
 Monterrey Oak (*Quercus polymorpha*)
 Eastern Red Cedar (*Juniperus virginiana*)
 Chinquapin Oak (*Quercus muehlenbergii*)
 Sycamore (*Platanus occidentalis*)
 Box Elder (*Acer negundo*)
 Texas Red Oak (*Quercus texana*)
 Redbay (*Persea borbon*)
 Red Maple (*Acer rubrum*)
 Mulberry (*Morus rubra*)
 Sumac (*Rhus copallina*)
 Baldcypress (*Taxodium distichum*)
 Bur Oak (*Quercus macrocarpa*)
 Green Ash (*Fraxinus pennsylvanica*)
 River Birch (*Betula nigra*)
 Crape Myrtle (*Lagerstroemia indica*)
 Chinese Pistache (*Pistachia chinensis*)
 American Elm (*Ulmus americana*)



Shrubs

Drift Rose (*Rosa hybrida*)
 Yaupon (*Ilex vomitoria*)
 Possumhaw Holly (*Ilex decidua*)
 Vitex (*Vitex agnus-castus*)
 American Beautyberry (*Callicarpa americana*)
 Texas Sage (*Leucophyllum frutescens*)
 Bottle Brush (*Callistemon citrinus*)
 Red Yucca (*Hesperaloe parviflora*)
 Burford Holly (*Ilex cornuta 'Burfordii'*)
 Pittosporum (*Pittosporum tobira*)
 Indian Hawthorn (*Raphiolepis indica*)



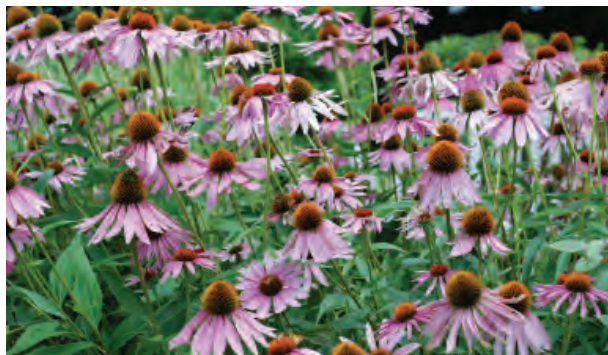
Vines & Groundcovers

Ajuga (*Ajuga reptans*)
 Coral Vine (*Antigonon leptopus*)
 Crossvine (*Bignonia capreolata*)
 Trumpet Vine (*Campsis tagliabuana* 'Madam Galen')
 Liriope (*Liriope muscari*)
 Aztec Grass (*Liriope muscari* 'Aztec Grass')
 Coral Honeysuckle (*Lonicera sempervirens*)
 Passion Vine (*Passiflora incarnata*)
 Day Lily (*Heemerocallis*)



Perennials

Shasta Daisy (*Chrysanthemum maximum*)
 Variegated Flax Lily (*Dianella tasmanica* 'Variegata')
 Bicolor Iris (*Dietes bicolor*)
 Coneflower (*Echinacea purpurea*)
 Whirling Butterflies (*Gaura lindheimeri*)
 Texas Lantana (*Lantana horrida*)
 Gayfeather (*Liatris spp.*)
 Turks Cap (*Malvaviscus arboreus* var. *drummondii*)
 Russian Sage (*Perovskia atriplicifolia*)
 Rosemary (*Rosmarinus officinalis*)
 Autumn Sage (*Salvia greggii*)
 Gregg's Mistflower (*Conoclinium greggii*)



Grasses

Sweetflag (*Acorus spp.*)
 Inland Sea Oats (*Chasmanthium latifolium*)
 Switch Grass (*Panicum virgatum*)
 Little bluestem (*Schyzacharium soparius*)
 Gulf Muhly (*Muhlenbergia capillaris*)
 Lindheimer's Muhly (*Muhlenbergia lindheimeri*)
 Mexican Feather Grass (*Nassella tenuissima*)
 Maiden Grass (*Miscanthus sinensis*)
 Dwarf Fountain Grass (*Pennisetum alopecuroides*)
 Purple Fountain Grass (*Pennisetum setaceum*)
 Blue Fescue (*Festuca glauca*)



Water's Edge planting

Sedges (*Carex spp.*)
 Rushes (*Juncus spp.*)
 Horsetail, (*Equisetum hyemale*)
 NO CAT TAILS

Development Guidelines

5 - Site Furniture

A separate site vocabulary should be established with a wide array of items: benches, drinking fountains, and trash receptacles. Each project site has flexibility with regard to manufacturer, but color shall match as noted below.



DuMor 140



DuMor 144



DuMor 443



DuMor 448



DuMor 157-40SHRC-BT



DuMor - 292-00/S-2



Murdock GYQ84

- Benches and trash receptacles shall be black in color with a finish to withstand the weathering elements.
- Drinking fountains should also have water bottle fillers and dog bowls where appropriate. Stainless Steel finish.

6 - Lighting

A separate site vocabulary all together with a wide variety of manufacturers. Preferred fixtures should be black with light emitting diode (LED) lighting. Lighting fixtures should provide safety while maintaining an aesthetically pleasing appearance. Fixtures chosen should provide adequate lighting but minimize glare and light pollution.

- A soft wash on architectural facades shall be permitted.
- Lighting levels shall conform with Illuminating Engineering Society (IES) standards.
- All wiring for lighting shall be underground.
- Lighting of landscape materials is desired but not required.

LUMENPULSE

Pedestrian 12' poles - Allegra Small luminaire series, Muffler series pole

ALG7120 277 CSL S60 40K CRI80 5S DIM CRC/SP

Arm: CS2 S2E BK CRC

Pole: PL-M 4 STL R 12M BK QB6 TN4 CRC AB

Area Light 25' - Allegra Small luminaire series, Muffler series pole
(Single Area Light)

ALG7220 277 CSL L170 40K CRI80 4 BK DIM CRC/SP TM

Arm: CS2 S1E BK CRC

Pole: PL-M 5 STL R 25 H BK QB8 TN4 CRC AB

Area Light 25' - Allegra Small luminaire series, Muffler series pole
(Twin Area Light)

ALG7220 277 CSL L170 40K CRI80 4 BK DIM CRC/SP TM

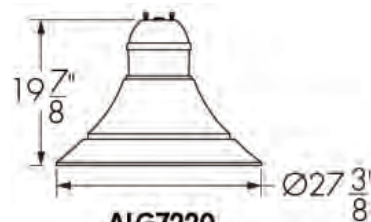
Arm: CS2 S2E BK CRC

Pole: PL-M 5 STL R 25 H BK QB8 TN4 CRC AB



ALG7120

*Pedestrian Pole - 12'
Allegra Small Luminaire*



ALG7220

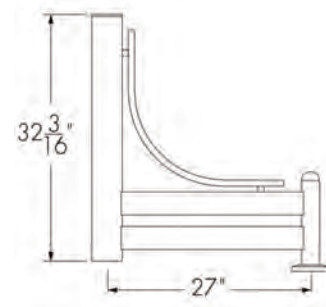
*Area Light Pole - 25' Allegra
Medium Luminaire*



Allegra Small Luminaire



QB6-QB8



CS2 Decorative Arm

*Pedestrian and Area Light
Pole and Arm*

Development Guidelines

7 - Material Palette for Landscape Architecture - Structures

Site elements such as seatwalls, courtyards, and other outdoor amenities should utilize a similar language defined within the architecture of Travis Bryan Midtown Park.

Materials described below reflect a collection of complementary materials to the Architecture Materials Palette. For additional materials see Section III. Architecture.

Brick - Color of brick should be focused into two main tones. (By Interstate Brick, or a like coloration and texture by another approved manufacturer)

1. Ironstone is to be the predominant field brick throughout the landscape elements.
2. Walnut should be used as an accent to Ironstone and the architecture palette.

Stone - Cut stone in ledge or continuous coursing may be used as a contrast to brick.

1. Coloration should coincide with the whites, tans, and optional rusty spotting of limestone.
2. Rough or smooth faced stone is acceptable.
3. Stone grout should compliment the color of the stone it is used with.
4. Cast stone cap elements are acceptable within the same limestone coloration.



Ironstone Brick



Linear Brick



Stone



Stone Block - Rough

7 - Material Palette for Landscape Architecture - Paving

Concrete - Sidewalks, plazas and trails

1. Walking surfaces that are expected to be routinely wet should incorporate a broom finish.
2. Sidewalks of 8' and wider shall have a troweled edge with broom finish.

Pavers - Color blends should complement Architecture as well as pre-determined paving colors, from Pavestone.

1. Old Town Blend Holland Stone pavers serve shall be utilized for field stone color along plazas and other site amenities.
2. Charcoal Holland Stone pavers are to be used as a single soldier course bordering field stone.
3. Sidewalks along Bomber Drive shall have a 2' wide paver strip at every 40' on center. Old town Blend.
4. ADA cast in place detectable warning surface color colonial red.



Concrete - Troweled edge with Broom Finish



Pavers - Old Town Blend Field



Bomber Drive typical sidewalk



Pavers - Charcoal Accent



Paver Plaza typical blend



ADA - Armor-Tile Colonial Red

Development Guidelines

III. Architecture

1 - Concept Overview

The architecture of 'Midtown Park' is to be characteristic of the historically agrarian and railroad context of the City of Bryan, seen in a variety of iterations at the Historic Downtown, Bryan Center, and Industrial Sites districts. Key architectural features of this regional dynamic are informed by purity and utility. This can be expressed in features such as:

- Clear, direct lines of sight with long, straight column lines.
- Industrial nature of the materials and details exchanging flare for craftsmanship.
- Exposed connections and long-span trusses.
- Robust masonry bearing walls.
- Large, simple roofs of metal paneling.
- Strategic use of glass.
- Intensive consideration of natural or constructed shade.
- Use of the natural face of materials with minimal painting.
- Zones for passive cooling.

All architectural decisions should be made for the provision of communal operation within a human scale, "The guidelines are intended to create buildings with an appropriate human scale by encouraging designers to provide exterior architectural design features that are well-proportioned and exhibit the form and function of the building within the design elements."

- City of Bryan Design Guidelines Summary.

Building design should follow the City of Bryan Code of Ordinances. The guidelines below are in addition to the Code of Ordinances and may not include all provisions, but are intended to promote an architecturally unified development of Midtown Park. The City is open to good design that may not exactly fit all requirements; therefore the City will review and approve such designs as required.

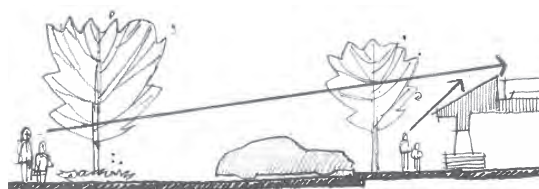
2 - Massing and Variation

The variation of massing is key to the development of quality architecture in Midtown Park. Each structure should make use of a combination of vertical and horizontal projections that divide the primary mass elements into a composition of sub-regions.

1. Massing should be well proportioned and human-scaled. The massing of adjacent and approximate buildings should be unified in form and overall architectural concept.
2. Rooftop HVAC equipment, penetrations, and other elements should be hidden from pedestrian view, preferably by the massing of the building, or at minimum by pre-finished louvered screen.
 - a. Any rooftop screening should be considered as part of the overall building massing design.
2. Facade Articulation should be used along at least two sides of proposed buildings. Changes in plane of at least 24 inches in depth, either horizontally or vertically, should occur at intervals not more than 60 feet long. This should also be applied to height offsets at the roof-line.
3. Changes in material, either horizontally or vertically, should occur at intervals not more than 60 feet long. Transitions should be made on inside corners, and with a minimum face plane offset of 1 inch.
4. Alternative facade or material changes not meeting these requirements, but achieving the same purpose, may be considered for approval by the City.
5. Primary building entrances shall be well defined by way of massing variation and provide shelter from precipitation and sun.

Massing of buildings should allow integration of shelter, landscape, site, and/or furnishings at regular intervals.

- a. Building- attached fabric awnings are not recommended.



Development Guidelines

3 - Façade Composition

Primary or Front façade: Where possible the primary building entrance shall be on the front façade.

1. For commercial or mixed-use buildings, at least 60% of the façade at ground level should incorporate storefront glazing with adequate shading.
2. At least 60% of the materials not including storefront, windows, or doors shall be unpainted masonry. Exceptions to this percentage may be considered on a case-by-case basis.
3. When possible, brick masonry should be used to promote a consistent architectural material language.
4. Each building face should have more than one material finish to prevent monotonous facades. However, avoid more than 4 major material changes on any given facade.
5. Stucco or EIFS systems are not allowed.

Sides: At least one side facade should meet the following guidelines.

1. When visible to public, a minimum of 20% of the façade shall be glazed.
2. When visible to the public, a minimum of 60% of the façade shall be masonry. Exceptions to this percentage may be considered on a case-by-case basis.
3. Up to 10% Stucco or EIFS may be used with City approval, in addition to the masonry percentage.

Back of House: Back sides of buildings shall house applicable service/loading zones and equipment yards whenever possible.

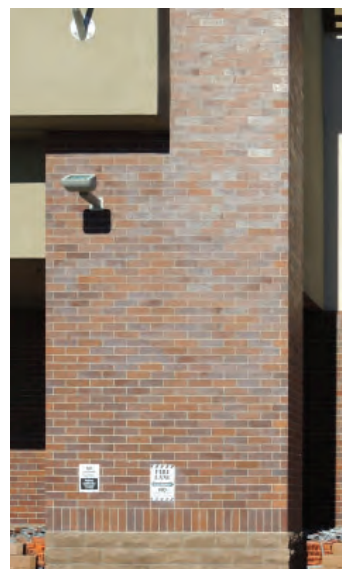
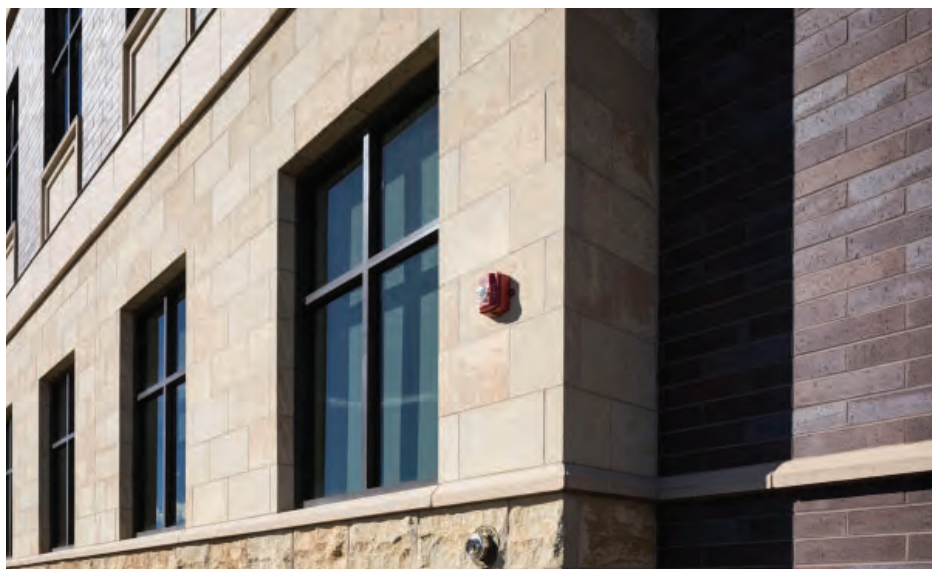
1. When visible to public, a minimum of 20% of the façade shall be glazed.
2. When visible to the public, 40% of the façade shall be masonry. Exceptions to this percentage may be considered on a case-by-case basis.
3. Stucco or EIFS may be used with City approval in addition to the masonry percentage up to 10%, 30% if not readily visible by the public.



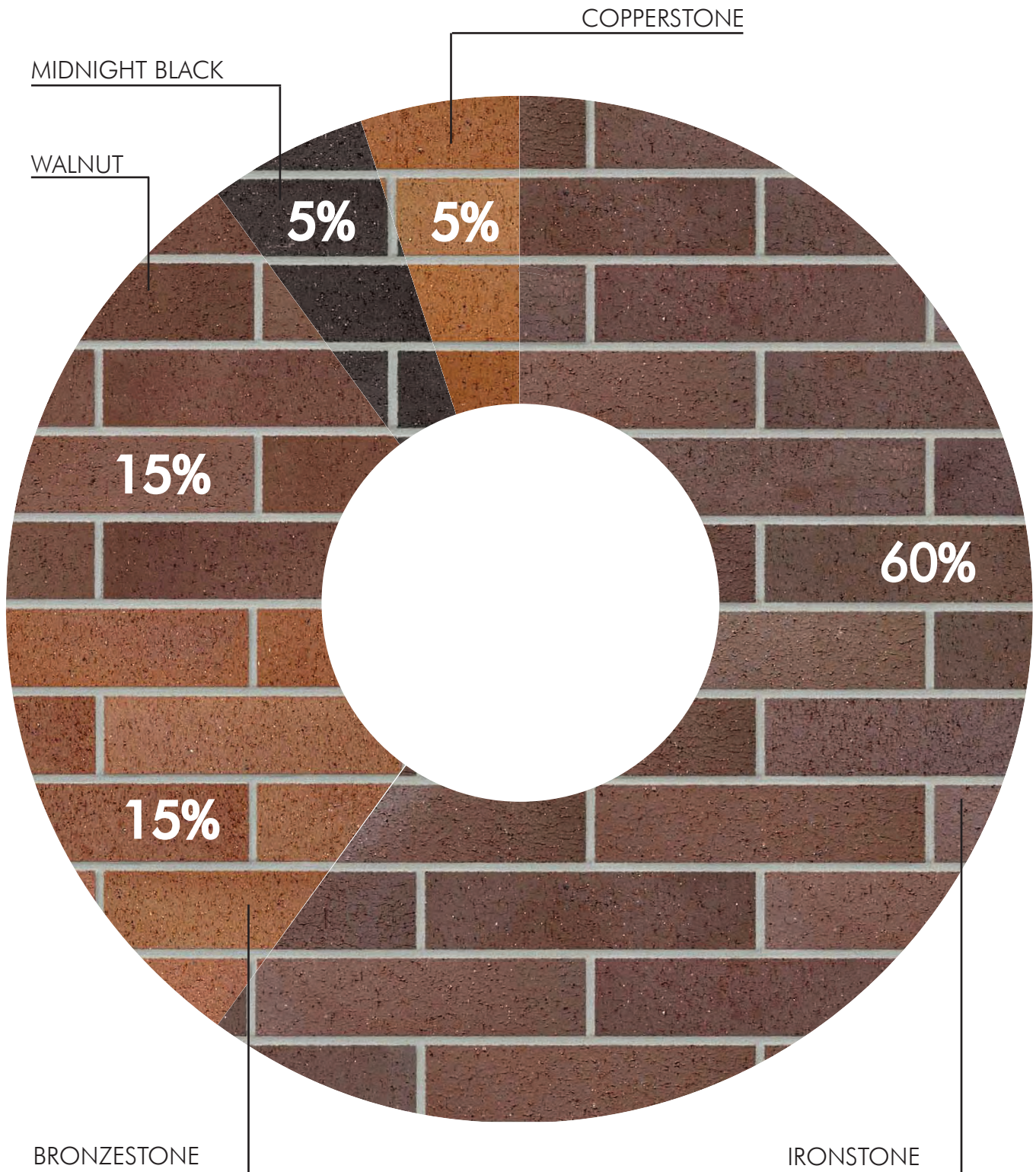
4 - Materials Palette for Architecture

Brick

1. Colors of brick should be focused into three main tones: rusty maroon, walnut brown, and metallic charcoal.
2. Ironstone by Interstate Brick, or a like color and texture by another approved manufacturer is to be the predominant field brick.
3. In structures with large planes of brick, mixes of 'Walnut' and 'Bronzetone' by Interstate Brick, or similar by other, and Ironstone are possible. A maximum of 30% 'Walnut' and/or 'Bronzetone' may be used.
4. Brick mortar color may vary on brick-only facades, but when used in conjunction with stone the brick mortar should complement the brick color.
5. Emperor size brick in $\frac{1}{4}$ stepped bond is preferred, however norman and modular brick in other running bond patterns are acceptable.
6. Accent banding and patterning within common courses of brick masonry is encouraged and may include 'Copperstone' or 'Midnight Black' for no more than 5% each of the total brick coloration.
7. Masonry may be used in the ground plane where not in the public way and is the responsibility of the owner.



Development Guidelines



Stone

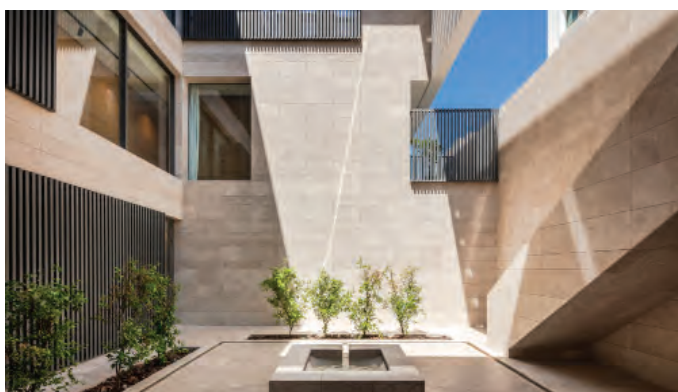
1. Cut stone in ledge or continuous coursing may be used as a contrast to brick.
 - a. Rough or smooth facade stone is acceptable
2. Color should coincide with light tans, and optional rusty spotting of limestone.
3. Stone grout should complement the color of the stone it is used with.
4. Cast stone elements such as sills, caps, and keystones are acceptable within the same limestone coloration.



Stacked Cut



Cut Stone Block



Stacked Rough



Ashlar

Development Guidelines

Architectural Metal

1. Exposed steel structure should be finished with black-tone paint having a glossy finish or may be left unpainted if galvanized and no site welding is required.
2. When single-member columns or beams are exposed, square and rectangular tube steel should be avoided.
 - a. Horizontal spanning structural members should be flanged cross-sections with bolted connections.
 - a. Pipe columns are to be used typically with embedded base connections.



Glass

1. Where storefront and curtain wall are suitable, an iron-toned glass is preferred
2. Additional tinting to darken glazing for energy conservation is encouraged.
3. Low-Iron, non-tinted glass is to be avoided unless used in special window conditions, (i.e., service windows which do not have this option).
4. Mullion and muntin patterns should be regular and continuous.
 - a. No discontinuous gridlines of mullion should be used as façade embellishment such as was done on the Brazos County Courthouse glazing.
5. Mullion and muntin materials should complement Architectural Metal's guidelines and compliment the overall material selection of adjacent façade and abutting interior finishes.



LOW-IRON GLASS VS. REGULAR CLEAR

Development Guidelines

Paneling

1. Composite Metal, cementitious panel or plank siding is acceptable, however composite wood or plastic panel products should be avoided.
2. All panel siding should reflect the overall regional aesthetics as laid out in the Concept Overview.
3. Panel siding colors should comply with the Paint Color Palette in this document.
4. Roofing material should be corrosion resistant metal, or prefinished with high performance coating meeting color palette requirements. If natural finish, galvanized, galvalume, or zinc finishes are acceptable.
5. Sloped metal roofs and metal panel siding should use an approved metal panel profile. Examples of this include;
 - a. Corrugated
 - b. Concealed fastener with standing seam and straited plane
 - c. Other profiles NOT including R-type or U-type panels
6. Pre-manufactured canopies over storefront, entrances, or sidewalks are not recommended unless they are detailed in a manner that conforms to the Concept Overview.

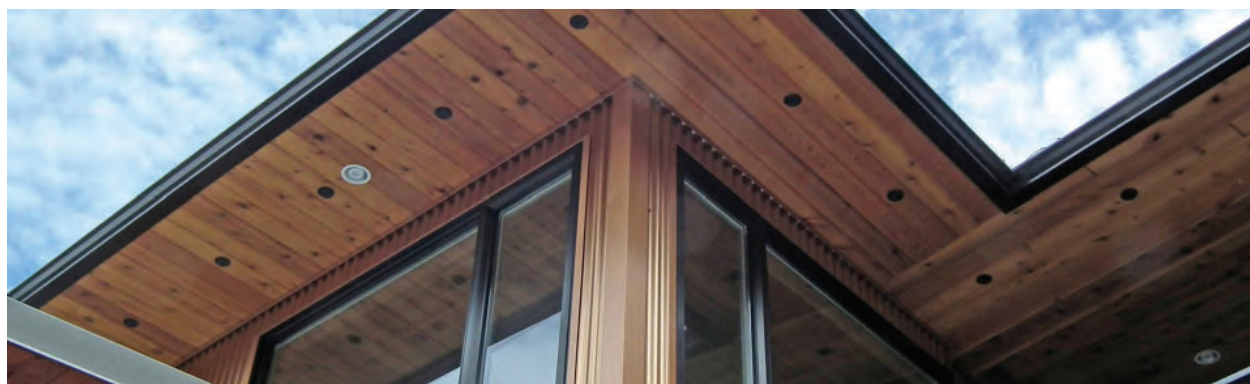


Wood

1. Wood products may be used to warm up the undersides of roof extensions or other canopy elements.
2. Wood should only be used in a veneer capacity when it is an exterior application.
3. Sealants should be exterior rated for moisture, pest, and UV resiliency, and applied to all exposed wood surfaces.
4. Stain colors should complement the natural tones of the color palette and avoid overly saturated yellow or red hues.
5. This guideline does not apply to screens, fences, or other light construction.

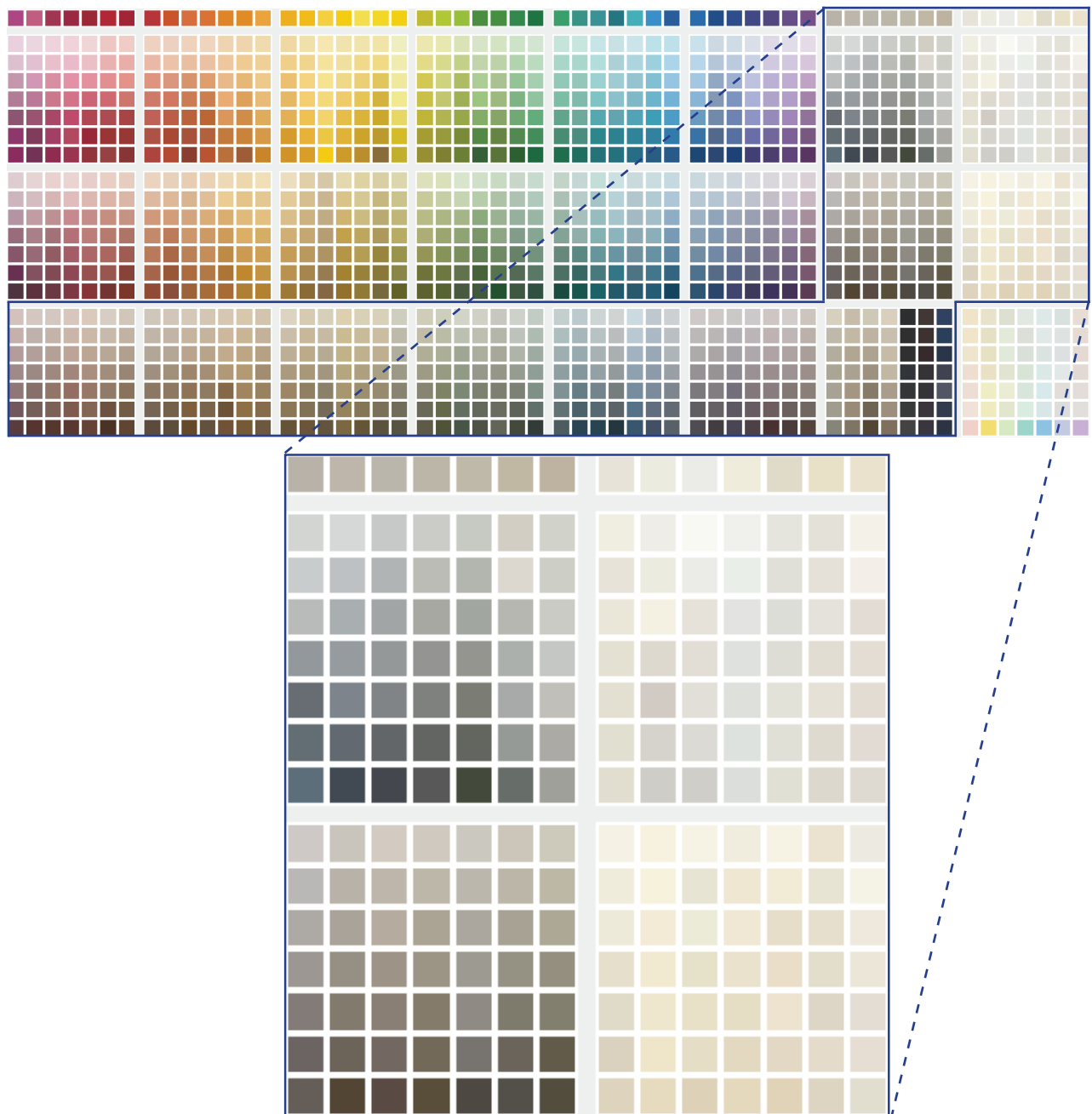
Accent Materials

1. Other materials may be used as a wall or signage accent if it is:
 - a. Naturally finished or clear-coated,
 - b. Intrinsically durable,
 - c. Complementary of and related to the other materials in this document,
 - d. Approved by the City early in the development process, and
 - e. Does not occupy more than 15% of the building's surfaces.
2. Example: Galvanized or other prefinished metal should be used for gutter systems, ventilation systems, and building light fixture housings to ensure a high degree of durability. These make up a small portion of the façade, but can provide an avenue of accentuation to introduce a wider variety of materials.
3. Concrete used in the ground plane where not in the public way may be stained a complementary color and sealed, to be the responsibility of the owner for maintenance and code compliance.



Paint Color Palette – All painted surfaces (structural steel, painted brick, accent materials, fiber cement siding, and approved other) shall comply with the Exterior Commercial Color Palette instituted by the City of Bryan.

1. Primary paint selections should come from the neutrals family of color shown below.
2. Secondary and accent colors may come from the Secondary family color region for a maximum of 15% of total exterior paint usage.
3. Examples provided here a limited representation of the full spectrum of neutrals available.



Development Guidelines

5 - Building Signage

Signage should be utilized in a manner that optimizes user orientation and clearly identifies activities or uses.

- One primary building sign not exceeding size limitations below is allowed, per building.
- Maximum dimensions for building mounted signs shall not exceed 50% of the façade's length, 15% of the façade's height, and a maximum area of 300 square feet.
- Signage should not be fashioned in such a way that it distracts or obstructs pedestrian visibility to mitigate risk to the public.
- All graphics must be appropriate for viewing by the general public and relevant to the establishment it serves.
- Sign materials should be durable, corrosion, UV, and fade resistant. Colors should comply with the City's approved color palette; any exceptions for registered logos/graphics may be considered for City review and approval.



6 - Lighting

- Typical light fixtures should be Dark Sky Approved by the IDA for glare, skyglow, and light trespass minimization.
- Light fixture housing design selection should be styled to compliment the railyard or agrarian typology with historic and modern considerations. Hidden light sources are also encouraged.
- Decorative accent lighting should only be used for point of entry and outdoor congregation areas and should not cause excess illumination to the adjacent areas or neighboring plots.
- A minimum level of security lighting should be provided at all points of entry and any attached outdoor spaces for any structure, which should always remain lit.
- Fluorescent-type light sources should be avoided, with preference given to light emitting diode (LED) and incandescent bulbs.
- Blue-hued and blue-rich white light should be avoided for user health, and warmer white light should be used instead.



Development Guidelines

7 - Secondary Structures

- Secondary structures throughout the park should use the same architectural language, materials, and color palettes previously mentioned. It is understood that these structures are to serve utility purposes; however, they should still be aesthetically pleasing and blend well with other primary structures, landscape, and the overall park setting.
- Secondary structures may also be those that do not house public functions and serve as a support role for a primary structure or Midtown Park as a whole.
- All guidelines for material selection on primary structures apply here, with the following exceptions.
 1. Buildings may be entirely one material that is not considered an accent material.
 2. Signage is not permitted to occupy a space greater than 25% of the façade's width or have a height that is greater than its width.

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